

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 19 January 2021

Report of
Head of Planning

Contact Officer:
Andy Higham
David Gittens
Jacob Ripper

Ward:
Grange

Ref: 19/04269/FUL

Category: Full Planning Application

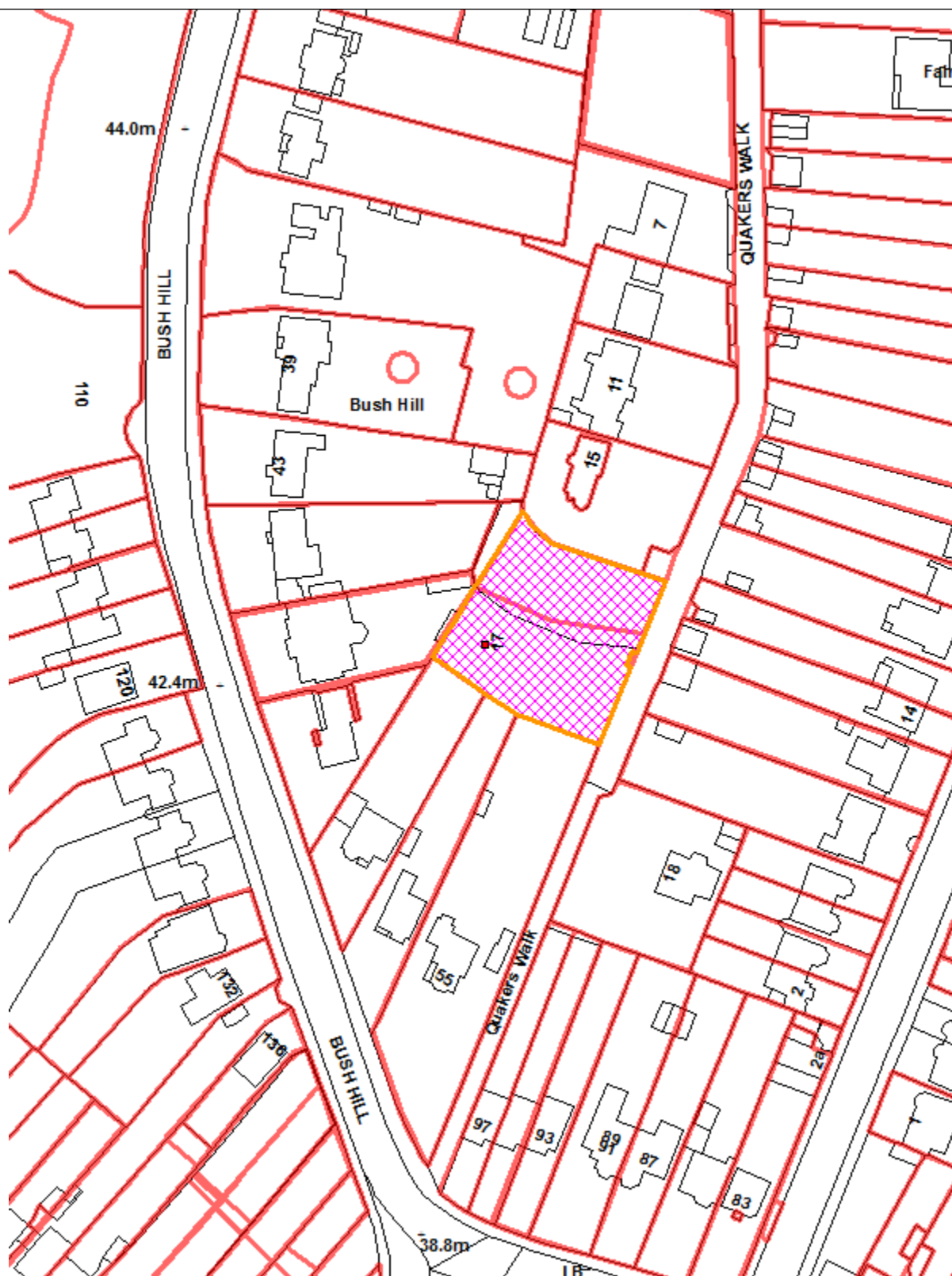
LOCATION: Broyle Gate17 Quakers Walk, London, N21 2DE

PROPOSAL: Sub-division of site and erection of a 2-storey detached dwelling house with basement level and vehicular access.

Applicant Name & Address:
Mr & Mrs Bowrey
c/o Agent

Agent Name & Address:
Smith Jenkins Ltd.
Mrs Jennie Harris
1st Floor
1 Canon Harnett Court
Wolverton Mill
Milton Keynes
MK12 5NF

RECOMMENDATION: That the Head of Development Management/the Planning Decisions Manager be authorised to **GRANT PLANNING PERMISSION subject to planning conditions.**



1.0 Note for Members

- 1.1 Although a planning application of this nature could be determined under delegated authority, it is reported to Planning Committee for determination at the request of Councillor Ioannou due to the level of public interest and the issues of policy raised.

2.0 Executive Summary:

- 2.1 The report assesses the acceptability of a proposal for the erection of a detached two-storey dwelling. The host property contains an existing dwelling with a large front and side garden.
- 2.2 Surrounding development on Quakers Walk contains a diverse set of residential development in terms of design, scale, and age. To the west and to the east are rear gardens and outbuildings associated with dwellings that front on Bush Hill and The Orchard. To the north is a Grade II listed former water tower, now converted for residential use.
- 2.3 As noted in the report, a dwelling has been proposed previously and refused under ref. 18/02703/FUL although no objection was raised to the principle of subdivision and erection of a new dwelling. Following the refusal, the applicant sought pre-application advice to inform this resubmission.
- 2.4 The changes primarily concern the overall form and massing of the dwelling, the location of the dwelling within its plot and relation to surrounding dwellings, and enhanced protection of trees.
- 2.5 The relevant planning history has been taken into consideration in the review of the current development proposal. Furthermore, it is considered the application satisfies the objectives of planning policy and is considered to be acceptable subject to pre-commencement and pre-occupation planning conditions recommended.

3.0 Recommendation:

- 3.1 That the Head of Development Management / the Planning Decisions Manager be authorised to GRANT planning permission subject to the following conditions:

Ongoing

1. Time Limited Permission: The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. Approved Plans: The development hereby permitted shall be carried out in accordance with the approved plans as set out in the attached schedule which forms part of this notice.

1836_000: Location Plan
1836_001: Existing Site Plan
1836_002: Existing Floor Plans (Broyle Gate)
1836_003: Existing Floor Plans (Broyle Gate)
1836_004: Existing Elevations (Broyle Gate)
1836_005: Existing Elevations (Broyle Gate)
1836_006: Existing Street Scene
1836_007: Proposed Site Plan
1836_200 Rev A: Revised Proposed Site Plan
1836_300: Proposed Ground Floor Plan
1836_301: Proposed Basement Plan
1836_302: Proposed First Floor Plan
1836_400: Proposed Elevations
1836_401: Proposed Elevations
1836_402: Proposed Side Elevation (Broyle Gate)
1836_403: Proposed Street Scene and Photos
1836_500: Proposed Section
20-CE-152 Rev P1: Driveway Bridge
OS 1483-17.2 Rev A: Tree Survey
Cover Letter
Planning and Heritage Statement (Dec 2019)
Planning Support Document (Dec 2019)
Construction Management Plan (Nov 2020)
Agent Email including Petition (18/09/2020)
Arboricultural Impact Assessment, Methods Statement, Tree Protection Measures (Nov 2019)

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Fenestration: The three proposed first-floor side-facing windows hereby approved shall be obscure-glazed and non-opening unless the parts of the window which can be opened are more than 1.7m above the floors of the rooms in which the windows are installed. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

4. Permitted Development: Notwithstanding the provisions of Article 3, Schedule 2, Part 1 Class A, AA, B, C, D and E of the Town and Country Planning (General Permitted Development) Order 2015 or any amending Order, no buildings or extensions to buildings shall be erected without the prior approval in writing of the Local Planning Authority.

Reason: In order to safeguard the amenities of neighbouring properties and visual amenity to the area.

Prior to Commencement of Any Development Works

5. SuDS: Prior to commencement of any development, a detailed Sustainable Drainage Strategy must be submitted to and approved in writing by the Local Planning Authority. The details shall be based on the disposal of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework and should be in line with DMD Policy SuDS Requirements:
- i) Shall be designed to a 1 in 1 and 1 in 100 year storm event with the allowance for climate change
 - ii) Follow the SuDS management train and London Plan Drainage Hierarchy by providing a number of treatment phases corresponding to their pollution potential
 - iii) Should maximise opportunities for sustainable development, improve water quality, biodiversity, local amenity and recreation value
 - iv) The system must be designed to allow for flows that exceed the design capacity to be stored on site or conveyed off-site with minimum impact
 - v) Clear ownership, management and maintenance arrangements must be established

The details submitted shall include levels, sizing, cross sections and specifications for all drainage features

Reason: To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP 28 of the Core Strategy, DMD Policy 61, and Policies 5.12 & 5.13 of the London Plan, and the National Planning Policy Framework.

6. Access - Trees: Prior to the commencement of any development, a revised plan showing the proposed steel plate access and any other existing or proposed hardstanding does not cover more than 20% of the root protection area in accordance with BS 5837:2012 must be submitted to and agreed in writing by the Local Planning Authority. The access shall be installed in accordance with these plans and under the supervision of the appointed arboriculturist upon the completion of construction and prior to occupation of the proposed development.

Reason: To ensure the long-term health of protected trees and that the retained trees, shrubs, and hedgerows on the site are not adversely affected by any aspect of the development.

7. Tree Protection: Prior to the commencement of any development, the construction and tree protection measures described in the Arboricultural Impact Assessment, Arboricultural Method Statement, Tree Protection Measures, and Construction Management Plan documentation shall be installed under the supervision of the appointed arboriculturist. Evidence of the installation of the protection measures must be submitted to and approved in writing by the Local Planning Authority in order to discharge this condition.

Reason: To ensure the long-term health of protected trees and that the retained trees, shrubs, and hedgerows on the site are not adversely affected by any aspect of the development.

Prior to Commencement of Above Ground Works

8. Materials: Prior to commencement of any works on site, samples of the external finishing materials to be used must be submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

9. Hard Surfacing: Prior to commencement of above ground works, details of the surfacing materials to be used within the development including footpaths, access, parking areas, and road markings must be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

10. Biodiversity and Landscaping: Prior to commencement of above ground works, details of the ecological enhancement(s) to be provided and details

of soft landscaping to be planted at the site must be submitted to and approved in writing by the Local Planning Authority. The ecological and planting scheme shall be carried out in accordance with the approved details in the first planting season after completion or occupation of the development, whichever is sooner. Any planting which dies or becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To improve the biodiversity offer on the site and surroundings, provide a satisfactory appearance, and ensure that the development does not prejudice highway safety, in line with the National Planning Policy Framework, London Plan Policy 7.19, Core Strategy Policy CP 36, and Development Management Document Policies DMD 79 and 81.

11. Accessibility: Prior to commencement of above ground works, details of how the development will comply with the provisions of the Building Regulations (2010) Access to and Use of Buildings, Volume 1: Dwellings, Section M4(2) Category 2: Accessible and Adaptable Dwellings (as amended), must be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the development provides for the needs of future occupants and the adaptation of the dwelling to meet changing needs over time, in accordance with London Plan Policy 7.2, Core Strategy Policy CP 4, and Development Management Document Policy DMD 8.

12. Considerate Constructors Scheme: The development shall not commence until an undertaking to meet with best practice under the Considerate Constructors Scheme and achieve formal certification has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

13. Refuse: Prior to commencement of above ground works, details of refuse and recycling storage facilities in accordance with the London Borough of Enfield Waste and Recycling Storage Planning Guidance EN20/ V2, have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be screened from view from the street and provided in accordance with the approved details before the development is first occupied.

Reason: In the interests of amenity and the recycling of waste materials in support of the Council's waste reduction targets.

14. Energy Statement: Prior to commencement of above ground works, an Energy Statement demonstrating a Target Emission Rate improvement of 35% on Part L of the Building Regulations 2013 (inclusive of design, size, siting, technical specification and elevational details for any renewable technologies considered feasible) must be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To demonstrate that the scheme will comply with the energy efficiency and sustainable development policy requirements.

Prior to First Occupation of the Development

15. Enclosure: Prior to first occupation of the development, the means of site enclosure must be submitted to and approved in writing by the Local Planning Authority. The approved details shall be installed prior to occupation.

Reason: In the interests of highway safety and maintaining adequate visual clearance.

16. Cycle Parking: Prior to first occupation of the development, details and design of the required secure/covered cycle parking spaces must be submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed prior to first occupation of the development and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking in line with adopted Council and London Plan standards and policies.

17. Water: Prior to first occupation of the development, details of the internal consumption of potable water must be submitted to and approved in writing by the Local Planning Authority. Submitted details will demonstrate reduced water consumption through the use of water efficient fittings, appliances and recycling systems to show consumption equal to or less than 105 litres per person per day. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy 5.15 of the London Plan, CP 21 of the Core Strategy, and DMD 58 of the Development Management Document.

Following First Occupation of the Development

18. Energy Performance Certificate: Following practical completion of works a final Energy Performance Certificate must be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

4. Site and Surroundings

- 4.1 The application site concerns the northern part of the residential curtilage of No. 17 Quakers Walk, a two-storey dwelling known as Broyle Gate. This is situated on the west side of Quakers Walk. The application site forms the side garden of the property and is currently occupied by a summer house and swimming pool.
- 4.2 The surrounding development on Quakers Walk comprises a diverse range and style of residential properties in terms of design, scale, and age. To the west and to the east are rear gardens and outbuildings associated with dwellings that front on Bush Hill and The Orchard.
- 4.3 The site is not located within a conservation area nor does it contain a listed building. There is to the north of the site a Grade II listed former water tower which has been converted to a dwelling (now known as The Tower, No. 15 Quakers Walk).
- 4.4 The front of the site is heavily screened by trees which are protected by a Tree Preservation Order (No. 152)

5. Proposal

- 5.1 The current proposal is for a two-storey three-bedroom detached dwelling including a basement and a single-storey attached garage projecting from the front elevation.
- 5.2 The proposal represents a significant change from the refused design and sets the dwelling further back from the street. The design of the building is contemporary with flat roofs, full height glazing, and exterior finishes using white render, stone, aluminium cladding, and timber cladding.

Current Proposal



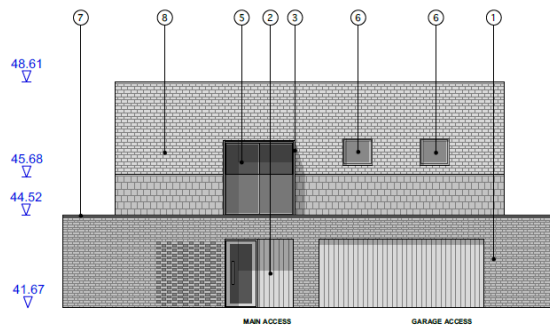
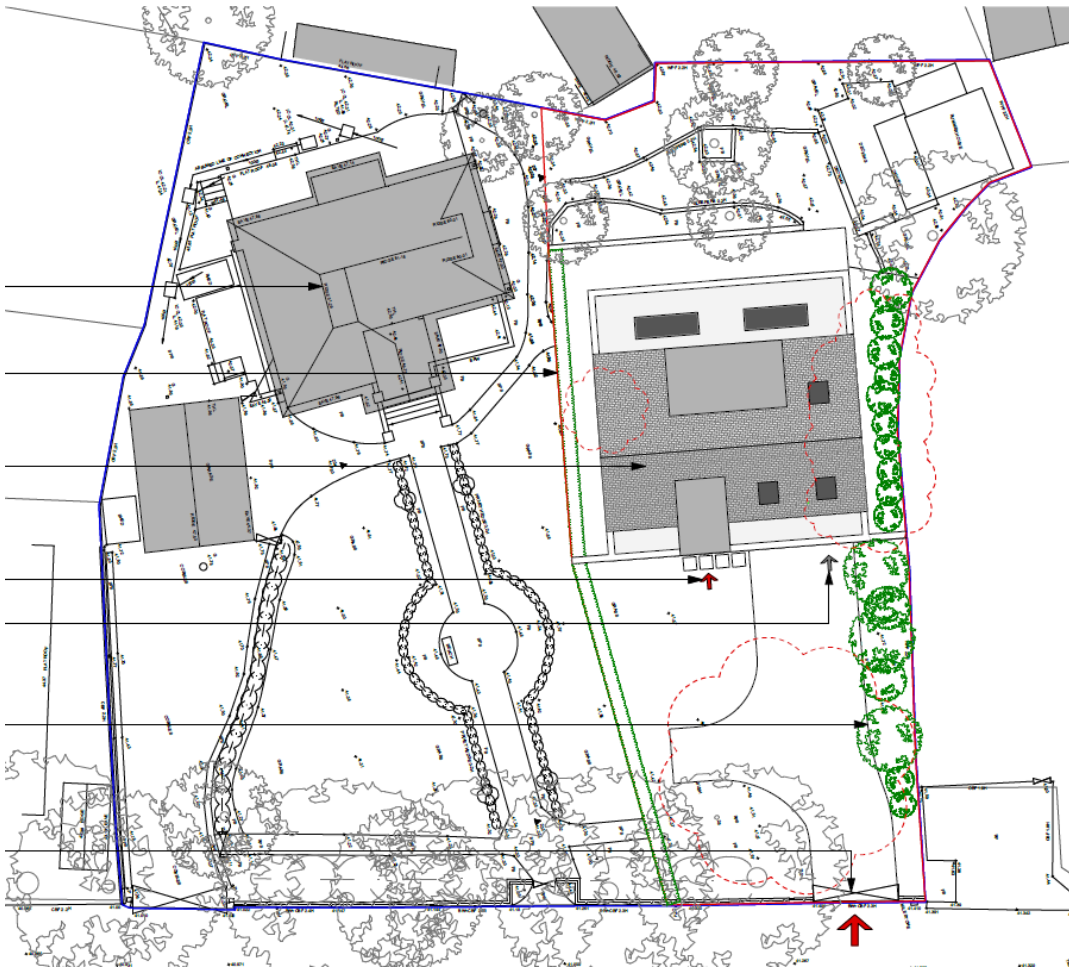
- 5.3 In addition, the revised proposal includes changes to front elevation and overhanging forward projection at the first floor, the addition of a cycle store, a recessed entrance gate, and a permeable steel plating “bridge” at the site entrance point to protect tree roots from vehicular access.

Background

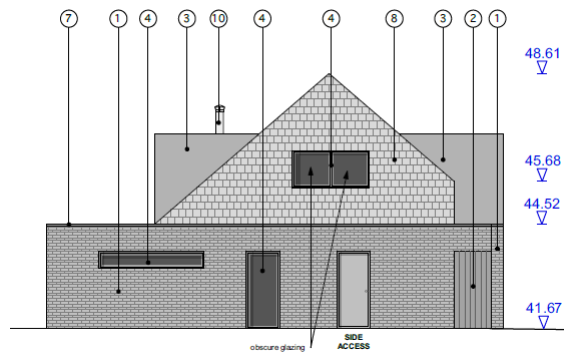
- 5.4 As noted in the relevant history section below, planning permission was previously refused under ref. 18/02703/FUL for the sub-division of site and the erection of a 3-bedroom dwelling house with basement level and new access. The reasons for refusal were:

1. *The proposed detached dwelling due to its excessive projection beyond the front of the host Arts and Crafts dwelling at Broyle Gate, 17 Quakers Walk, and due to its size, bulk and overall appearance that would incorporate a large expanse of bricks and tiles, would, when viewed in conjunction with the host dwelling, result in an overly dominant, obtrusive and visually discordant form of residential development that would detract from the setting of this non-designated heritage asset and would be detrimental to the visual amenities of the street scene and the surrounding area. This is considered contrary to Policies 7.4 and 7.6 of The London Plan 2016, Policy 30 of the Enfield Core Strategy 2010, Policies DMD6, DMD7a, DMD8, DMD14 and DMD37 of the Enfield Development Management Document 2014 as well as the NPPF 2018 in particular Section 12.*
2. *The proposed development by reason of its excessive projection beyond the front of the host dwelling of Broyle Gate, 17 Quakers Walk, would be overly dominant and overbearing in relation to the host property. This would give rise to an unacceptable loss of outlook and an unneighbourly sense of enclosure that would adversely affect the residential amenity enjoyed by the occupants of this property, contrary to Policy CP30 of the Enfield Core Strategy 2010 and Policies DMD7d, DMD8 and DMD37 of the Enfield Development Management Document 2014.*
3. *The applicants have failed to provide sufficient information to demonstrate that the windows in the flank elevations of the neighbouring properties, No.15 Quakers Walk and Broyle Gate No.17 Quakers Walk, would not result in the direct overlooking of the private garden area of the proposed house and the outlook from proposed bedrooms 1 and 2 is considered inadequate. The proposed development would therefore fail to provide a satisfactory standard of accommodation for future occupiers and is considered contrary to Policy 3.5 of the London Plan 2016, Policy CP4 of the Enfield Core Strategy 2010 and Policies DMD6, DMD8 and DMD10 of the Enfield Development Management Document 2014.*

Previous Proposal Ref. 18/02703/FUL



proposed east elevation
scale 1:100@A3



6. Relevant Planning History

6.1 The following application references are considered relevant to the application site.

Case Reference	Proposal	Decision	Date
19/01961/PREAPP	Pre-Application: Proposed sub-division of site and erection of 1x residential unit.	Closed	29/06/2019
18/02703/FUL	Sub-division of site and erection of a 3-bedroom dwelling house with basement level and new access	Refused	27/09/2018
17/02594/PREAPP	Pre-Application: Proposed subdivision of site and erection of 1 residential dwelling.	Closed	12/07/2017
TP/11/0910	Two storey extension to south and west elevations single storey extension to west elevation together with alterations to roof, creation of a gable with windows and doors and roof terrace to south elevation and dormer window to west elevation.	Granted with Conditions	30/03/2012
TPO/11/0033	Works to trees covered by Tree Preservation Order LBE No 152 (1983) - 2 x Horse Chestnuts and 3 x Limes - Re-pollard to previous points.	Granted with Conditions	25/10/2011

7 Consultations

External

7.1 Thames Water Authority:

No objection raised but Informative received and forwarded to the applicant.

Internal

7.2 Crossovers Team:

No objection raised as it is noted that there would be no work for crossovers to undertake as the property leads straight onto Quakers Walk road. However, if any works are required within the highway for the installation of the access bridge, works to the highway must be approved and completed by Highway Services at the cost of the Applicant.

7.3 Education:

No response.

7.4 Environmental Protection and Regulations:

Environmental Health does not object as there is unlikely to be any negative environmental impact. In particular there are no concerns regarding air quality, noise or contaminated land. As the site is surrounded by residential properties there is a risk of dust issues due to construction activities. To protect against harm to neighbouring amenities due to demolition and construction dust, a construction management plan was requested.

7.5 Traffic and Transportation:

Comments received that indicate revised plans largely address the concerns previously identified. That remaining relates to visibility splays at the access point. It is suggested that conditions are imposed to ensure visibility be maintained above 0.6m in height and that railings at this height instead of close boarded fencing be installed.

Public

7.6 Consultation letters were issued to 13 neighbouring and nearby properties. Representations were received from 22 individuals (several from the same households) which equated to 17 representations objecting to the proposal, all but one being the same letter template but signed by different individuals.

7.7 The Council also received 5 representations in support of the proposal. In addition, a petition in support of the proposal signed by 20 neighbours was submitted.

7.8 In addition, representations were also received from two Councillors – Cllr Stephanos Ioannou (neighbour) objected to the proposal while Cllr Terry Neville (Ward councillor) wrote in support.

7.9 The main issues of objection are summarised below:

- Close to adjoining properties
- General dislike of proposal
- Increase of pollution
- Increased traffic
- Light pollution
- Loss of privacy
- Noise nuisance
- Out of keeping with character of area
- Objections to exterior materials and window size
- Adequate access
- Loss of trees
- Impact to listed building and non-designated heritage assets

8 Relevant Policies

8.1 London Plan (2016)

Policy 3.4: Optimising Housing Potential
Policy 3.5: Quality and Design of Housing Development
Policy 3.8: Housing Choice
Policy 3.9: Mixed and Balanced Communities
Policy 5.1: Climate Change Mitigation
Policy 5.2: Minimising Carbon Dioxide Emissions
Policy 5.3: Sustainable Design and Construction
Policy 5.13: Sustainable Drainage
Policy 5.14: Water Quality and Wastewater Infrastructure
Policy 5.15: Water Use and Supplies
Policy 5.16: Waste Self-Sufficiency
Policy 6.9: Cycling
Policy 6.10: Walking
Policy 6.13: Parking
Policy 7.1: Lifetime Neighbourhoods
Policy 7.2: An Inclusive Environment
Policy 7.3: Designing Out Crime
Policy 7.4: Local Character
Policy 7.6: Architecture
Policy 7.19: Biodiversity and Access to Nature

8.2 London Plan “Publication” 2020

Following an Examination in Public into the submission version of the Plan and modifications, in December 2019 the Mayor published his Intend to Publish London Plan. On 13 March 2020, the Secretary of State issued Directions to change a number of proposed policies.

In response, The Mayor sent a letter to the Secretary of State on 9 December advising that he intends to approve a new draft London Plan on 21st December and send to the Secretary of State shortly after. The Mayor has advised that this will be a new, stand-alone publication version of the Plan and has been prepared to address the Secretary of State's previous directions.

The Secretary of State has 6 weeks in which to respond (or can request a further extension of time). The Mayor can only publish the Plan after the Secretary of State has given his approval.

The Secretary of State sent a response to the Mayor on 10 December confirming amendments to the original 11 directions issued in March 2020 and issuing 2 further directions. He also invited to the Mayor to re-submit the London Plan to him. The Mayor has sent the Secretary of State the Publication London Plan December 2020.

The Secretary of State has up to 6 weeks to decide whether he is content for the Mayor to formally publish the Publication London Plan (or request a further extension of time) Once the Mayor has formally received confirmation from the Secretary of State that he is content for his Publication London Plan to be published, the Mayor will proceed with the final steps to publish his London Plan.

In line with paragraph 48 of the NPPF, the weight attached to this Plan should reflect the stage of its preparation; the extent to which there are unresolved objections to relevant policies; and the degree of consistency of the relevant policies in the emerging Plan to the NPPF.

Whilst the published London Plan (2016) remains part of Enfield's Development Plan, given the advanced stage that the Intend to Publish version has reached, significant weight can be attached to it in the determination of planning applications (although there is greater uncertainty about those draft policies that are subject to the Secretary of State's Direction). The following policies are considered particularly relevant:

- D4: Delivering good design
- D5: Inclusive design
- D6: Housing Quality and Standards
- D7: Accessible Housing
- D12: Fire Safety

- D14: Noise
- H4: Delivering Affordable Housing
- H10: Housing Size Mix
- GG1: Building Strong and Inclusive Communities
- GG2: Making the Best Use of Land
- GG3: Creating a Healthy City
- GG4: Delivering the Homes Londoners Need
- G1: Green Infrastructure
- G5: Urban Greening
- G6: Biodiversity and access to nature
- G7: Trees and woodlands
- SI1: Improving air quality
- SI2: Minimising Greenhouse Gas Emissions
- SI3: Energy Infrastructure
- SI5: Water infrastructure
- SI7: Reducing waste and supporting the circular economy
- SI12: Flood risk management
- SI13: Sustainable drainage
- T2: Healthy Streets
- T3: Transport capacity, connectivity and safeguarding
- T5: Cycling
- T6: Car Parking

8.3 Core Strategy (2010)

- CP 4: Housing Quality
- CP 5: Housing Types
- CP 20: Sustainable Energy Use and Energy Infrastructure
- CP 21: Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
- CP 22: Delivering Sustainable Waste Management
- CP 25: Pedestrians and cyclists
- CP 30: Maintaining and Improving the Quality of the Built and Open Environment

8.4 Development Management Document (2014)

- DMD 3: Providing a Mix of Different Sized Homes
- DMD 6: Residential Character
- DMD 7: Development of Garden Land
- DMD 8: General Standards for New Residential Development
- DMD 9: Amenity Space
- DMD 10: Distancing
- DMD 37: Achieving High Quality and Design-Led Development
- DMD 38: Design Process
- DMD 45: Parking Standards and Layout

DMD 46: Vehicle Crossovers and Dropped Kerbs
DMD 47: Access, New Roads and Servicing
DMD 49: Sustainable Design and Construction Statements
DMD 51: Energy Efficiency Standards
DMD 53: Low and Zero Carbon Technology
DMD 56: Heating and Cooling
DMD 57: Responsible Sourcing of Materials, Waste Minimisation and Green Procurement
DMD 58: Water Efficiency
DMD 61: Managing Surface Water
DMD 68: Noise
DMD 79: Ecological Enhancements
DMD 80: Trees on Development Sites
DMD 81: Landscaping

8.5 Other relevant Policy/Guidance

National Planning Policy Framework (NPPF)
National Planning Practice Guidance (NPPG)
DCLG Technical Housing Standards – Nationally Described Space Standard (2015)
London Housing SPG (2016)
Enfield Waste and Recycling Storage Planning Guidance (2020)

9 **Analysis**

Principle of Development

- 9.1 The National Planning Policy Framework (NPPF) and London Plan advise that Local Authorities should seek to deliver a wide choice of high quality homes, widen opportunities for home ownership and create sustainable and inclusive and mixed communities. In addition, they advocate the efficient use of brown field sites provided that it is not of high environmental value. Policy 5 of the Core Strategy seeks to ensure that new developments offer a range of housing sizes to meet housing needs whilst ensuring that the quality and character of existing neighbourhoods is also respected.
- 9.2 The proposal to create an additional unit of residential accommodation would be compatible with Policies 3.3 and 7.5 of the London Plan, Policies GG2 & GG4 of the London Plan “Publication” 2020 and CP2 of the Core Strategy, as it provides an addition to the Borough’s housing stock which actively contributes towards both Borough specific and London-wide strategic housing targets. The proposal is also consistent with the emerging policy objective of making better use of existing brownfield site in urban areas while also optimising their development to contribute towards delivering homes to meet housing need.

- 9.3 Policy 3.4 of the London Plan and Policy GG4 of the Publication London Plan promote the optimisation and best use of land to meet housing targets and deliver much needed new homes. Furthermore, Policy 3.8 of the London Plan encourages the Council to provide a range of housing choices in order to take account of the various groups who require different types of housing. The proposal would be compatible with these policies.
- 9.4 It is recognised that the site is garden land and therefore any development would need to be carefully considered against its impact on the character and appearance of the locality. DMD 7 (Development on Garden Land) allows such development and contains specific criteria against which proposals in such circumstances should be assessed.
- a. The development does not harm the character of the area;
 - b. Increased density is appropriate, taking into account the site context in terms of its location, accessibility and the provision of local infrastructure;
 - c. The original plot is of a sufficient size to allow for additional dwellings which meet the standards in DMD 8 'General Standards for New Residential Development', (and other design policies);
 - d. The individual plot sizes, orientation and layout created are appropriate to, and would not adversely impact on the residential amenity within the development, or the existing pattern of development in that locality;
- 9.5 These requirements are reviewed below however, given the site, it is considered the principle of a new dwelling is acceptable and this is considered with the planning decision made previously
- 9.6 Notwithstanding, consideration must also be given to other relevant policies within the Core Strategy and Development Management Document that seek to protect the residential amenities of the neighbouring and future occupants, ensure development is in keeping with the character of the area, ensure adequate internal floorspace and external amenity space, and have suitable access. The policies and issues must be balanced with the goal of increasing new housing within the Borough and are discussed in more detail below.

Impact on the Character of the Surrounding Area

- 9.7 Policy CP 30 of the Core Strategy requires new development to be of high quality design and in keeping with the character of the surrounding area while Policy DMD 6 requires development to be appropriate for the existing pattern of development and setting. Policy DMD 8 seeks to ensure that development is high quality, sustainable, has regard for and enhances the local character, can meet the existing and future needs of residents, and protects residential amenity for

neighbouring residents. Policy DMD 37 sets out criteria for achieving high quality and design led development, and resists development that is inappropriate to its context or fails to have appropriate regard to its surroundings.

- 9.8 The surrounding development on Quakers Walk contains a diverse set of residential properties and styles in terms of design, scale, and age, with little to no locally distinctive style or predominant urban form. To the west and to the east of the application site are rear gardens and outbuildings associated with dwellings that front on Bush Hill and The Orchard. Moreover, it must be noted that No. 5 Quakers Walk has been recently subdivided and redeveloped with 2 dwellings (ref. 16/05764/FUL).
- 9.9 The application site is relatively larger than other plots along Quakers Walk which means that the proposed development would be on a plot roughly similar in size to other development along the road. As a result, it is considered the host site is of an adequate size to be subdivided and the subdivision of the site would not result in a form or pattern of development out of keeping with its surroundings.
- 9.10 The converted water tower to the north of the site is a Grade II listed building. It occupies a somewhat similar set-back position from the highway as the existing dwelling at the application site (Broyle Gate, No. 17 Quakers Walk) and has vehicle access from Quakers Walk. The proposed dwelling is set back from the highway and relates well to the building lines of both No. 17 and the tower (No. 15 Quakers Walk) in consideration of alignment with the primary elevation and forward projection of the garage.
- 9.11 The setback of the proposed dwelling assists in protecting the setting of the listed building and helps to retain its visual prominence in the street scene. In addition, the proposed development is located approximately 10m from the tower.
- 9.12 It is acknowledged the proposal is of a modern / contemporary design but given the variety of built forms that exist and its proportions, it is not considered to be at odds or detract from the character and appearance of the locality. Due to its design however, the height of the proposed development is considerably less than the tower, and less than the height of No. 17 while matching the height of its eaves (see figure below). It is considered that the proposed form and materials would not detract from the setting or character of the listed building or the existing dwelling on the site. However, a condition requiring samples and details of all exterior materials has been included.



- 9.13 The prominence of the proposed development and thus its relationship to the street scene is further mitigated by the presence of trees along the front boundary which are the subject of a TPO. Even considering the lack of foliage in winter months, a substantial amount of screening would exist due to the boundary fence enclosure and some evergreen vegetation. Despite this, to ensure the development remains sympathetic the current proposal incorporates a lower profile and lighter materials in order to not be overly dominant when viewed from the street and surrounding properties.
- 9.14 For the reasons outlined above, the proposed development is in alignment with the goals of London Plan Policy 3.4, Core Strategy Policies CP 5 and CP 30, and Development Management Document Policies DMD 6, DMD 7, DMD 8, and DMD 37.

Relationship to Heritage Asset

- 9.15 The local planning authority has a duty under Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act, 1990 that requires that 'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'.
- 9.16 In line with the NPPF, when any harm is identified to a heritage asset as a result of proposed development, great weight must be given to the asset's conservation, irrespective of whether the potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. In addition, any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

When assessing the impact of proposed development, the NPPF advises Local Planning Authorities that great weight should be given to the assets conservation, noting that assets of greater importance should be assigned

proportionately more weight. The NPPF also notes that significance can be harmed or lost through the alteration or destruction of the heritage asset or development within its setting.

- 9.17 However, Paragraph 200 of the NPPF also acknowledges that Local Planning Authorities should seek opportunities for new development within the setting of heritage assets to enhance or better reveal their significance, noting also that proposals that preserve elements that make a positive contribution to and / or better reveal the significance of the asset should be treated favourably.
- 9.18 It is acknowledged the proposed new dwelling is within the setting of the adjacent listed building but it is considered the proposed scale, form and appearance of the new dwelling taken together with its spatial relationship is acceptable and would meet the statutory tests in terms of [preserving of the setting of the designated heritage asset in accordance with Policy DMD 44

Standard of Accommodation

- 9.19 Policy DMD 8, Policy 3.5 of the London Plan and Policy D6 of the “Publication” London Plan 2020 set minimum internal space standards for residential development. The Department for Communities and Local Government’s Technical Housing Standards - Nationally Described Space Standard (2015) applies to all residential developments within the Borough. The London Plan Housing SPG adopted in 2016 has been updated to reflect the Nationally Described Space Standards.

Floor Area

- 9.20 The DCLG housing and space standards provides internal floorspace expectations for new development illustrated in the table below. Additionally, it describes minimum space standards for bedrooms:
- a dwelling with two or more bed spaces has at least one double (or twin) bedroom
 - in order to provide one bed space, a single bedroom has a floor area of at least 7.5m² and is at least 2.15m wide
 - in order to provide two bed spaces, a double (or twin bedroom) has a floor area of at least 11.5m²
- 9.21 With reference to these standards, the new three-storey (including basement with storage), three-bedroom dwelling meets the following minimum requirements: 3 x 11.5m² (double) bedrooms, 108m² Gross Internal Area (GIA), and 2.5m² of built-in storage to accommodate 6 people.

- 9.22 The proposed and expected GIA of the dwelling house is shown in the table below. The proposed development would be acceptable in terms of gross internal floor area requirements for a 6-person occupancy.

Bedrooms	Persons	Storeys	Required GIA	Proposed GIA
3	6	3	108m ²	267m ²

- 9.23 The proposed and expected bedroom floorspaces are shown in the table below. In accordance with these bedroom size standards and the plans submitted with this application, the bedrooms for the new dwelling are of an acceptable size.

Bedroom	Expected	Proposed
Master	2p / 11.5m ²	13.75m ² *
Bedroom 1	1p / 11.5m ²	14m ² *
Bedroom 1	1p / 11.5m ²	14m ² *

*Not including en-suite.

- 9.24 The build-in storage requirement will be met as well.

Amenity Space

- 9.25 Policy DMD 9 and Policy 3.5 of the London Plan requires new development to provide good quality amenity space that is not significantly overlooked by surrounding uses. Private amenity space is defined as open space which is accessible to the resident(s) of the dwelling and does not include space used for purposes such as access roads, driveways, garages, car parking spaces, outdoor storage areas; or landscaped areas which provide a setting for the development such as front gardens.
- 9.26 The existing dwelling contains 5 bedrooms and the proposed dwelling would contains 3 bedrooms. Policy DMD 9 requires 50m²+ and 44m² private amenity space, respectively, for the dwellings. Considering the configuration of the site and the large plots, the proposal provides more than adequate amenity space.
- 9.27 No. 15 Quakers Walk has small first-floor flank windows and larger flank windows serving the top floor that would face the proposed development. Due to the position of the proposed development in relation to No. 15 and the distance between the buildings, it is not anticipated that a substantial level of overlooking resulting for future occupants would occur.
- 9.28 No. 17 Quakers Walk also contains flank windows facing the proposed development. Again, due to the position and orientation between the two buildings, it is not anticipated that a substantial level of overlooking would result in consideration of the rear amenity area being partially obstructed from view and

the front amenity including the pool being at an angle in relation to windows at No. 17. However, it has been agreed that a condition will be imposed to ensure obscure glazing is installed in these three flank windows.

- 9.29 In light of the above, the quality of habitable accommodation will be acceptable. The proposal meets the minimum gross internal floorspace standards, the minimum bedroom floorspace standards, and has provided adequate external private amenity space, in alignment with Policies DMD 8 and DMD 9 of the Development Management Document and Policy 3.5 of the London Plan.

Impact on the Neighbouring Amenity

- 9.30 The National Planning Policy Framework identifies as a core planning principle that planning should always seek a high quality of design and a good standard of amenity for all existing and future occupants of land and buildings. Policy 7.6 of the London Plan states that developments should have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity which is consistent with Policies D3 and D4 of the “Publication” London Plan 2020. Policy CP 30 of the Core Strategy seeks to ensure that new developments are high quality and design-led, having regards to their context. Policy DMD 8 states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise, and disturbance.
- 9.31 Although the proposed development is of a comparably modest height considering surrounding development, the proposal includes a significant proportion of full-height windows in all elevations of the first floor. All flank windows are proposed to be obscure-glazed and this can be required by a condition to ensure the privacy of neighbours and future occupants of the dwelling.
- 9.32 Consultation on the proposal has raised concerns about overlooking from residents to the west (rear) of the site in terms of overlooking. It is understood this is based on the three rear-facing first-floor windows and proximity to the site boundary.
- 9.33 Policy DMD 10 requires certain distancing between rear windows facing each other. The properties to the west that may be impacted are two-storey, some with accommodation in the roof space resulting in a functional third level of rear-facing windows. The policy requires a distance of 25m for a two-storey building rear windows and a three-storey building rear windows. The distance from the proposed rear elevation to these neighbouring properties is approximately 29m to 44m. Given this distancing, combined with intervening outbuildings and mature landscaping on the plots to the west, it is considered that no unacceptable level of overlooking would occur.

- 9.34 The development would result in an increase in comings and goings to the site and activity in the private amenity spaces within the site. However, the intensity of the use for the size of the property would be consistent with the surrounding residential area and would not give rise to additional noise and disturbance that would be unexpected or out of keeping with the that generated by a commensurate residential use.
- 9.35 As proposed and conditioned, the development would not significantly impact the residential amenities (noise, privacy, outlook, daylight, and sunlight) appurtenant to the host site or neighbouring properties.

Vehicle Parking and Cycle Provisions

- 9.36 Policy DMD 8 requires new residential development to provide adequate parking while DMD 45 seeks to minimise car parking and to promote sustainable transport options. It is recognised that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.
- 9.37 Policy DMD 45 states:

Car parking proposals will be considered against the standards set out in the London Plan and:

- a. The scale and nature of the development*
 - b. The public transport accessibility (PTAL) of the site;*
 - c. Existing parking pressures in the locality;*
 - d. Accessibility to local amenities, and the needs of the future occupants of the developments.*
- 9.38 Appendix 7, Table 7.3 of the Development Management Document sets out maximum parking standards for residential development in the London Plan. It also requires 20% of all residential parking must be for electric vehicles.

Table 7.3 Parking for residential development

Maximum residential parking standards			
Number of beds	4 or more	3	1-2
	2 -1.5 per unit	1.5 -1 per unit	Less than 1 per unit

- 9.39 The site has a Public Transport Accessibility Level (PTAL) of 0, bordering on 1b, which indicates that access to frequent public transport is extremely poor. The

proposal involves the provision of 2 car parking spaces within a double garage and there is sufficient hardstanding to park 1-2 more vehicles. Given the PTAL score and nature of the location, the extra provision of parking is deemed acceptable.

- 9.40 In response to consultation comments received from Transportation, the entrance gate has been set back 5m to prevent vehicles blocking the public highway while waiting for the gates to open. There was some concern about visibility splays at the point of access. However, the boundary treatment could be designed to allow visibility for vehicles entering the road and can be secured by a condition. There were no other concerns raised regarding access from Quakers Walk.
- 9.41 A total of 2 cycle parking spaces are required pursuant to Table 8.3 of the London Plan. Cycle parking should be designed and laid out in accordance with the guidance contained in the London Cycle Design Standards (e.g. covered, secured, lit, etc.). Although a location is identified on the plans, no details for how cycles would be covered, secured, etc have been provided. A condition has been included to ensure adequate cycle storage.

Refuse Storage

- 9.42 Policy DMD 47 specifies that new development will only be permitted where adequate, safe, and functional provision is made for refuse collection. Policy DMD 57 requires all new development to make appropriate provision for waste storage, sorting and recycling, and adequate access for waste collection. The Waste and Recycling Storage Planning Guidance from Enfield Council (EN20/V2) provides further specifications.
- 9.43 There are no specific refuse and recycling storage areas shown but there is more than adequate space to accommodate these requirements and it is considered this can be secured by condition.

Energy and Water Efficiency

- 9.44 Policy DMD 49 states all new development must achieve the highest sustainable design and construction standards and include measures capable of mitigating and adapting to climate change to meet future needs having regard to technical feasibility and economic viability while Policy DMD 51 states further energy efficiency standards and that all developments will be required to demonstrate how the proposal minimises energy related CO2 emissions which must adhere to the principles of the energy hierarchy in the policy.
- 9.45 This follows policy CP 20 of the Core Strategy which states that the Council will require all new developments, and where possible via retrofitting process in

existing development to address the causes and impacts of climate change by: minimising energy use; supplying energy efficiently; and using energy generated from renewable sources in line with the London Plan and national policy. The adopted policies require that new developments achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability. This is in line with the emerging policies (SI 2 / SI 5) in the "Publication" London Plan 2020

- 9.46 The applicant has indicated that a 35 percent CO2 savings above the Part L of Building Regulations (2010) would be achieved. To ensure compliance with policy therefore, a condition is recommended requiring a detailed Energy Statement which will specify how the reductions are achieved via the use of fabric energy efficiency performance, energy efficient fittings, use of renewable technologies, etc. in line with DMD 49 and 51.
- 9.47 Water efficiency measures need to demonstrate reduced water consumption using water efficient fittings, appliances, and recycling systems to show consumption equal to or less than 105 litres per person per day in accordance with the standards of Policy DMD 58. These will be secured by a condition.

Sustainable Drainage Systems (SuDS)

- 9.48 Policy DMD 61 states that a drainage strategy will be required for all development to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the adopted and "publication" London Plan. The policy ensures a development such as the one proposed should seek to achieve greenfield run off rates and must maximise the use of SuDS by including at least one 'at source' SuDS measure resulting in a net improvement in water quality.
- 9.49 The site is not located within a flood zone and to ensure compliance with the requirements of policy, it is considered appropriate to impose a condition.
- 9.50 It is noted that the proposed bridge access would be permeable, which is addressed in the tree section below.

Trees

- 9.51 Policy DMD 80 states development that involves the loss of or harm to trees protected by a TPO or trees of significant amenity or biodiversity value will be resisted. Works to TPO trees must ensure the long-term health of the trees and retain and enhance amenity value.
- 9.52 The site contains several TPO trees and a hedge located along the front of the site. Several non-TPO trees located within the building footprint are proposed to

- be felled, but no felling of TPO trees is proposed and those trees to be removed will be replaced as a requirement of a condition.
- 9.53 The main issue as it relates to the protection of TPO trees has to do with the new vehicular access that would cross over the root protection area (RPA) for a TPO tree at the front of the site, which is a horse chestnut and is identified on the submitted plans as T2, and an off-site non-TPO holly tree identified as T151.
- 9.54 The Council's Tree Officer initially expressed concern regarding the damage to the roots in this area within the RPA due to construction activities and long-term vehicle access. In response, the applicant has proposed an engineered steel driveway "bridge" supported by piles in order to minimise impacts to the RPA and provide a no-dig point of access. The steel plate would also be permeable to allow water through and would sit approximately 250mm above ground level at its highest point. The access would lower at the front of the site to provide a level transition to and from the adjacent road.
- 9.55 This solution is considered acceptable in principal provided it is installed under the supervision of the appointed arboriculturist, but further comments may be reported from the Tree Officer.
- 9.56 In addition to plans for this access way, the applicant has submitted an Arboricultural Impact Assessment, Arboricultural Method Statement, and Tree Protection Measures to ensure the health and minimise impact to all retained trees. A Construction Management Plan has been submitted to further address how trees and RPAs would be protected from construction activities including vehicles access, parking, and material storage. Temporary root protective measures would be taken during construction, with the bridge installed as a permanent access way. A condition can ensure these protective measures are implemented.
- 9.57 In light of the above, it is considered that with appropriate conditions to ensure the protection measures are followed pursuant to the submitted plans, the long-term health of protected trees can be ensured.

Biodiversity

- 9.58 Both the adopted and emerging London Plan as well as the adopted Core Strategy and DMD seek to protect and enhance biodiversity. Policy DMD 79 states that developments resulting in the creation of 100m² or more or the creation of a new dwelling should provide on-site ecological enhancements. Policy DMD 81 states that development must provide high quality landscaping that enhances the local environment. Most developments can provide ecological
-

enhancements to improve the biodiversity offer on the site. Enhancements could range from anything such as bird boxes to wildlife friendly landscaping or green roofs, depending on the scale of development.

- 9.59 The submitted proposals indicate some introduced landscaping / mitigation but do not identify any specific plantings or species and do not detail specific ecological improvements. It is agreed therefore that conditions will be imposed to ensure details are submitted for approval to ensure compliance with policy

Accessibility

- 9.60 The national technical standards are material in the assessment of this application. Building Regulations optional standard M4(2) is the equivalent of Lifetime Homes Standards and given the London Plan Policy 7.2, Development Management Document, Policy DMD 8, as well as Core Plan Policy CP 4, it is considered appropriate to apply the optional standard
- 9.61 The London Plan and Enfield policies require all future development to meet the highest standards of accessibility and inclusion. It is feasible to accommodate accessibility and inclusion features in the new dwelling; therefore, a condition will ensure the scheme complies with the optional national technical standard M4(2).

Construction Management

- 9.62 The applicant submitted a Construction Management Plan that in addition to the tree protection measures outlined above addresses the delivery and storage of materials, hours of work, dust mitigation, road cleaning, and construction vehicle wheel washing. Generally, the CMP is considered adequate with the condition that proof of membership of the Considerate Constructors Scheme is submitted for approval

10. Community Infrastructure Levy (CIL)

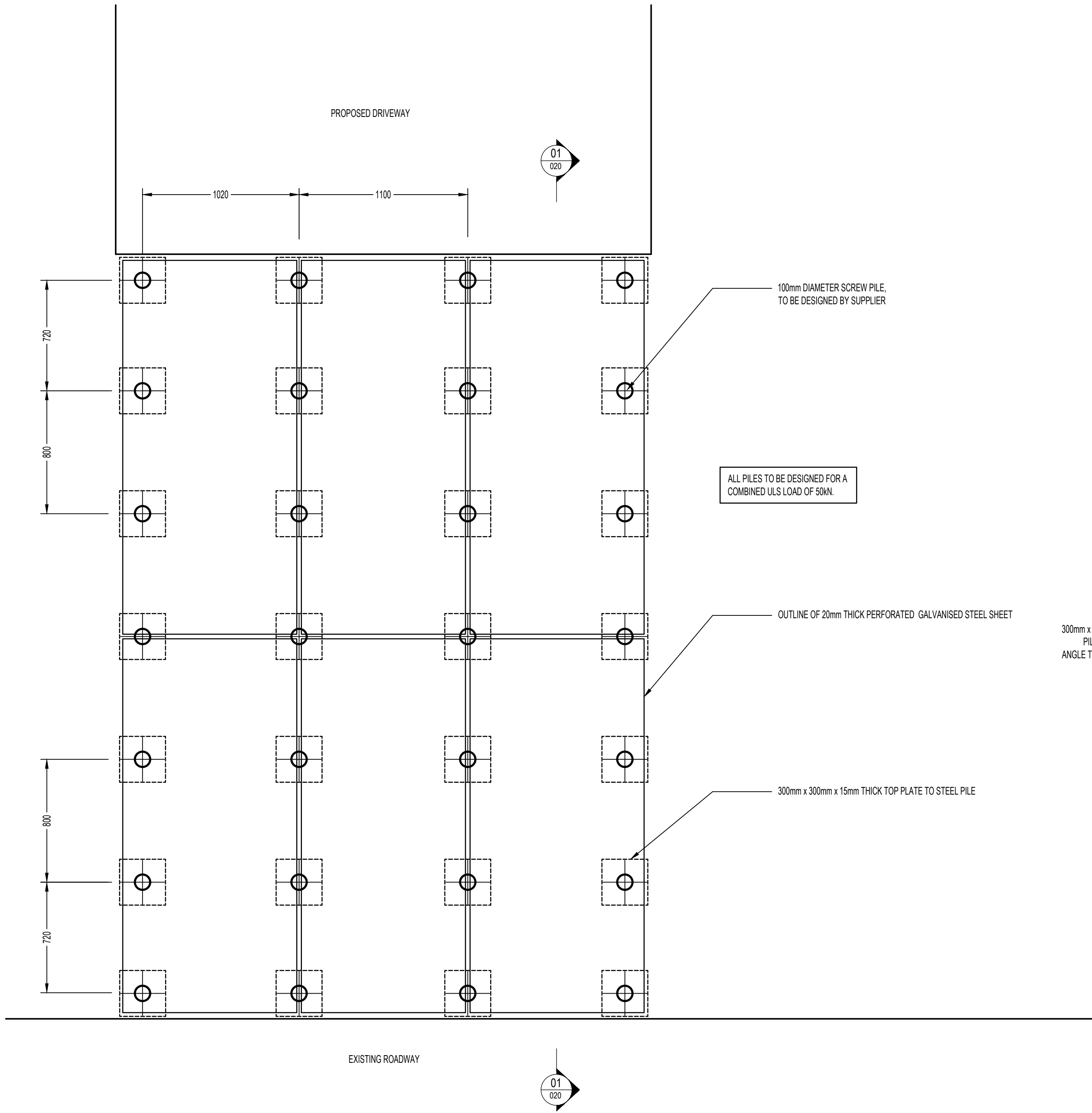
- 10.1 The London Borough of Enfield falls within Mayoral Community Infrastructure Levy Band 2 and therefore development will be liable to pay £60/sqm. The development site is also liable for the higher rate residential CIL payment of £120/sqm as per the adopted Community Infrastructure Levy Charging Schedule (2016). The development is subject to both CIL rates above.

11. Conclusion

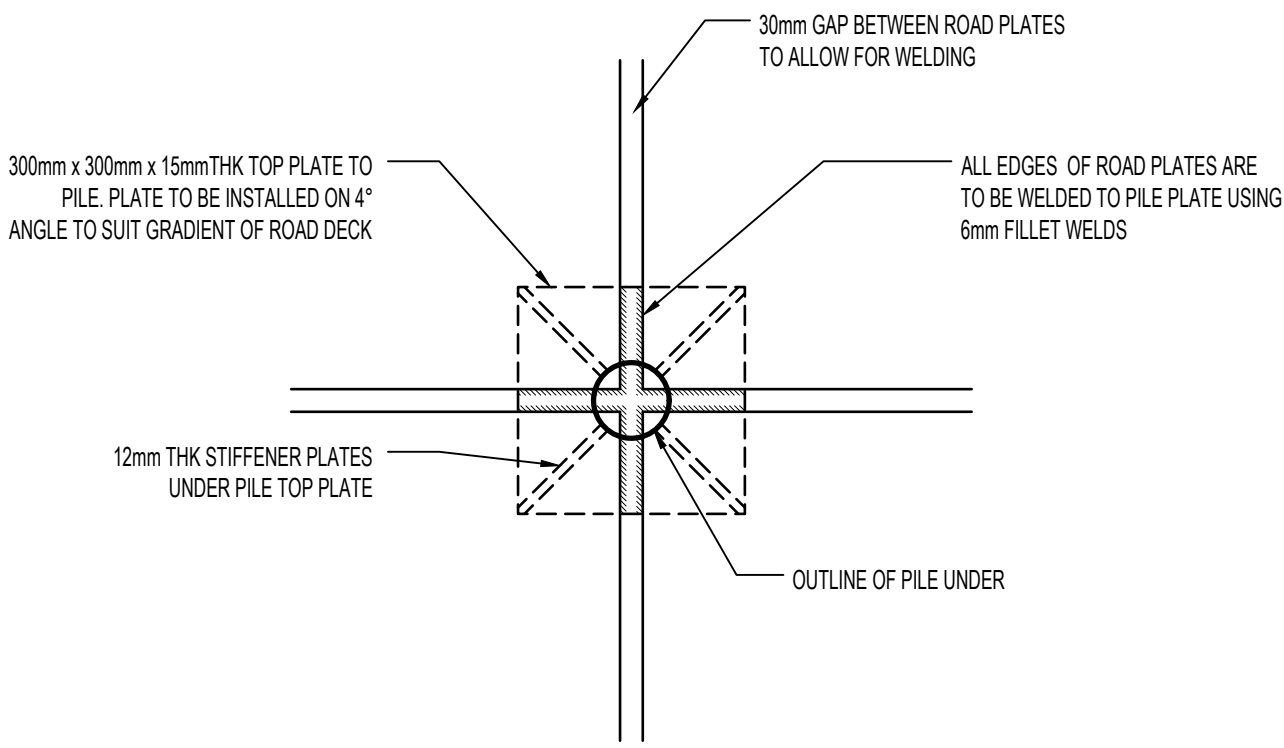
- 11.1 The proposed development would provide much needed family sized housing for the borough and would result in a form and appearance of development that would detract from pattern, character and appearance of the surrounding area. Its design is also considered appropriate and sympathetic to the amenities of neighbouring

properties and with conditions, the development would not result in any harm to existing TPO trees. It is also considered the scheme can meet sustainability targets through the imposition of conditions consistent with the objectives of the climate change declaration.

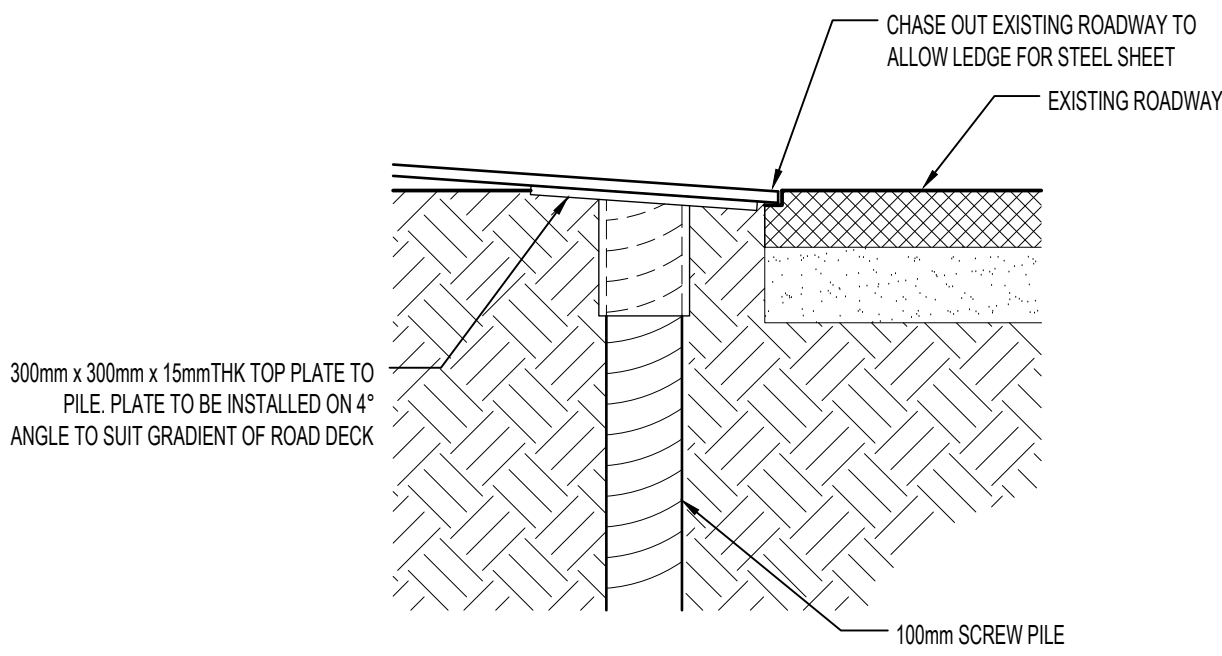
- 11.2 Having regard to the above it is recommended that planning permission be granted subject to conditions.



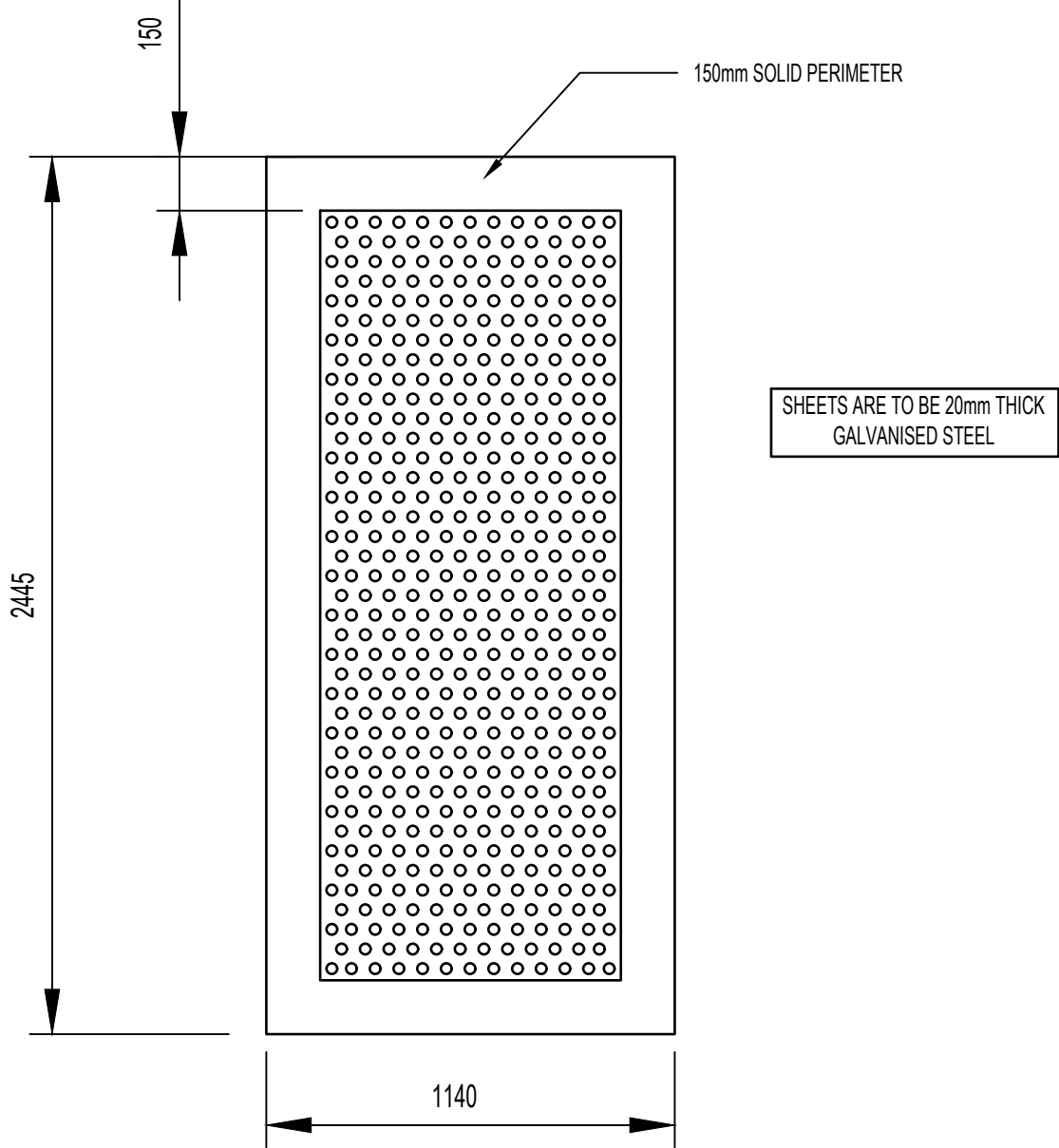
PROPOSED PILE LAYOUT
SCALE 1:20



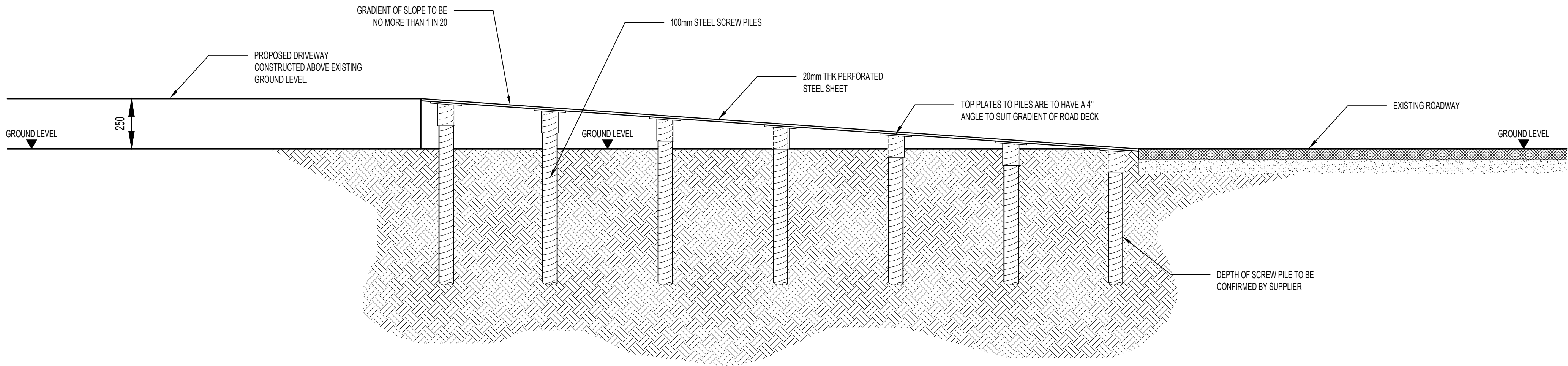
PILE TOP PLATE DETAIL
SCALE 1:10



STEEL DECK TO EXISTING ROADWAY JOINT
SCALE 1:10



PLAN VIEW OF PERFORATED SHEET
SCALE 1:20



SECTION 1-1
SCALE 1:20

P1	09.12.20	Issued for information
REV.	DATE	DESCRIPTION
WHITE & LLOYD CONSULTING ENGINEERS Devon House, 11 High Street, Thames Ditton, Surrey, KT7 0SD +44(0)208 191 7747 office@whiteandlloyd.com www.whiteandlloyd.com		
PROJECT: BROYLE GATE, QUAKERS WALK, ENFIELD, N21 2DE		
TITLE: DRIVEWAY BRIDGE		
ARCHITECT: TYE ARCHITECTS		
CLIENT: MR & MRS BOWREY		
STATUS: FOR INFORMATION		
DATE:	DECEMBER 2020	DRAWN: BY: D.C.
SCALE:	AS SHOWN @ A1	CHECKED: BY: J.R.
JOB No:	20-CE-152	DWG No: 010 REV: P1



Project no. 1836 | Broyle Gate, Quakers Walk, Winchmore Hill, London, N21 2DE
Planning Support Document
Client: Fiona & Simon Bowrey

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December 2019



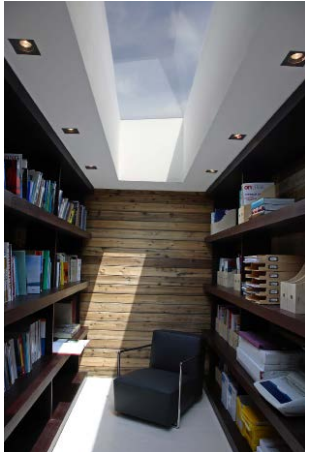
0.0 Contents

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Introduction

0.1 introduction and awards



Introduction

We are a young vibrant award winning practice interested in creating innovative, high quality, healthy environments for all people. We work predominantly within the residential sector and are currently running some 60 residential projects across the country. Central to our philosophy is that design is generated by the needs of people and the framework of the local context, regardless of the size or scale of the design opportunity. We actively encourage our clients to consider sustainable and sympathetic interpretations of the existing context to the benefit of the local environment. Our experience is far reaching and our philosophy is successfully applied to projects large and small.

The Long Barn & Long Barn Studio

A derelict barn dating back from 1860 and used for the last 150 years as a grain store has now been converted into a 4 bedroom family house with Studio annex. Sensitivity to the locality and to the existing framework of the building formed a delicate brief between new architecture and old.

A new building was slid into the extrusion of the existing space, respecting the frame and roof of the original barn. A vast fully glazed gable end with a panoramic view of the local countryside forms the end point of a journey through an open plan 250m² ground floor space. Natural and organic materials were used wherever possible. The studio's building strategy is based on an elegant rectangle. Accommodation comprises of a reception and seating area for clients, a kitchen, storage, studio space, WC's, meeting rooms and a library and services pod - a continuous expanse of space defined by volumes of Wenge pods containing the ancillary elements of the programme.

Awards

RIBA East Regional Award 2018 Winner - The Deering
LABC Award 2018 - Winner of Best Small Commercial Project
Joint Winner Governor's Award for Design & Construction Excellence in the Cayman Islands 2015
International Property Awards Highly commended single residence for Cayman islands 2015
Build It Award for Berkhamstead house- Best use of SIPS - 2013
AVDC design awards 2012 - winner of the plaque for outstanding design
International Design and Architecture Awards 2011- Shortlisted in the Residential £2.5 - £5.5 million category
International Property Awards 2011- Highly Commended in Office Architecture
Grand Design Awards 2011 - Shortlisted
Hertfordshire Building Futures Award 2011- Shortlisted
Bedfordshire Association of Architects- Best New House 2011
Northern Design Awards 2010
RIBA National Award 2009
RIBA Eastern Region Awards 2009- Finalists
Design Week Awards 2009: Best Work Place Environment Award
National Wildflower Centre - International Competition - Shortlisted Finalists from 144 teams - £5million
Campaign to Protect Rural England (CPRE) Mark 2009
Creative East Awards- Best Workspace Environment 2009
LABC (Local authority Building Control) Regional- Best Commercial Project under £1million 2009
RIBA East Awards 2008: Spirit of Ingenuity- Business in Architecture Award
Bedfordshire Association of Architects - Best Commercial Project 2008
Grand Designs Awards 2008: Best Conversion - Finalists
Grand Designs Magazine Awards 2007 - Finalists
International FX Design Awards - Best Residential Interior
British Institute of Architectural Technologists 2004
Bentley Cars: Daily Mail International Property Awards

Introduction

0.1 design team contacts

Architect - Lead Consultant		Client		Local Planning Authority		Planning Consultant	
Nicolas Tye Architects				Enfield Council		Smith Jenkins	
Contact:	Juliana Mockdece	Contact:	Fiona & Simon Bowrey	Contact:	Planning Department	Contact:	Jennie Harris
Address:	The Long Barn Studio Limbersey Lane Maulden MK45 2EA	Address:	Broyle Gate Quakers Walk Winchmore Hill London N21 2DE	Address:	Civic Centre Silver Street Enfield EN1 3XY	Address:	5 Warren Yard Warren Park Milton Keynes MK12 5NW
Tel:	01525 406677	Tel:	Fiona - 07966 149 761	Tel:	020 8379 3820	Tel:	01908410422
Email:	juliana@tyearchitects.com	Email:	Simon - 07973 436 014 home.snappysnaps@btopenworld.com	Email:	development.control@enfield.gov.uk	Email:	jennie@smithjenkins.co.uk

1.0 Site Assessment



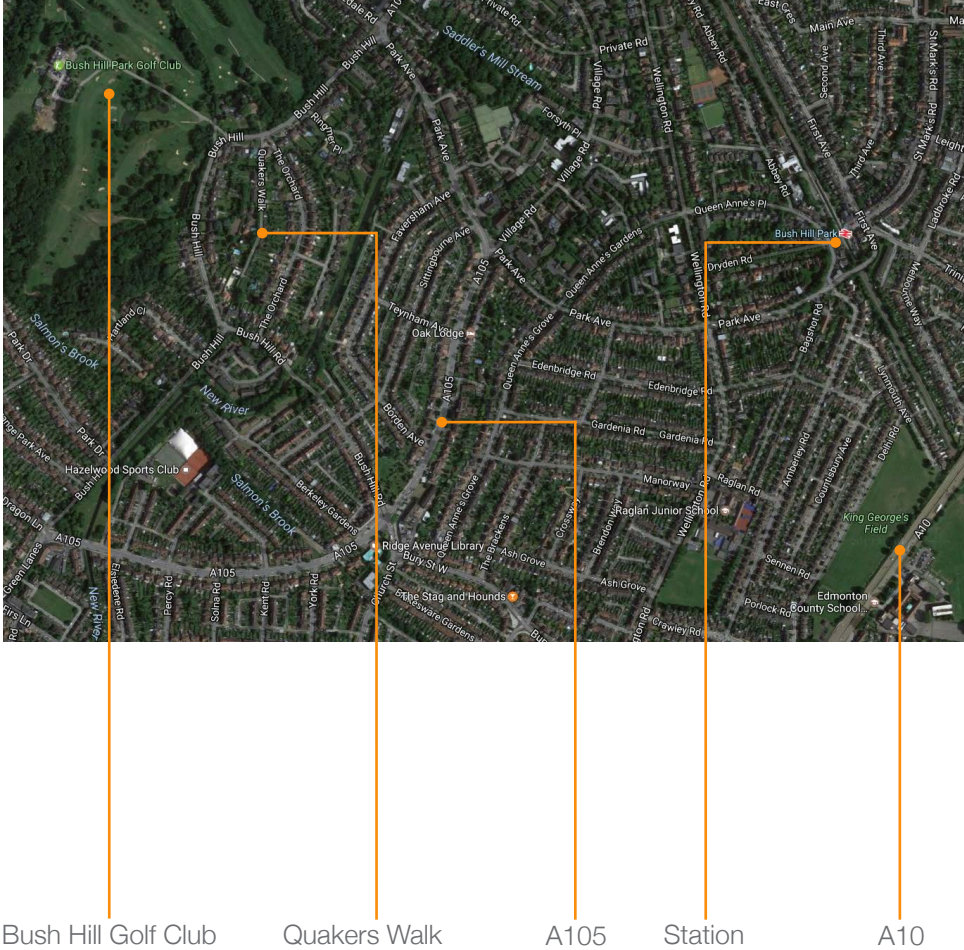
Site Assessment

1.1 site location

Overview



Neighbourhood



Boundary



Site Assessment

1.2 site photography



1. Front Garden



2. Front Garden



3. Front Garden



4. Pool Area



5. Pool Area

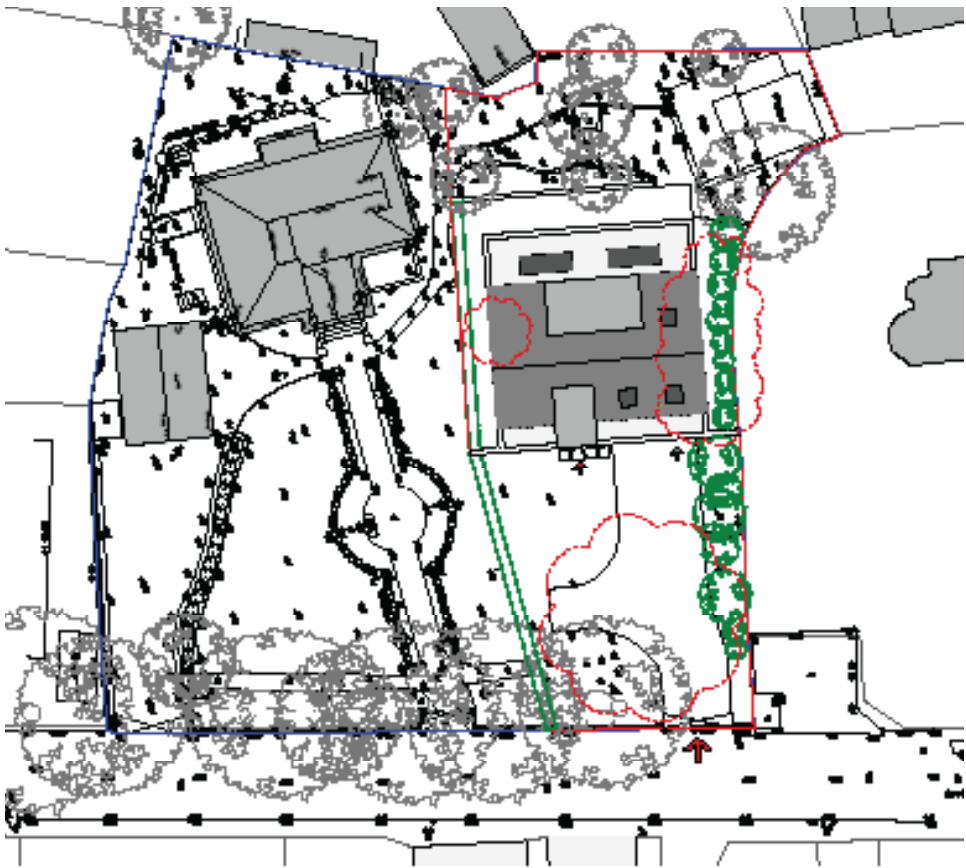


6. Access Road

Site Assessment

1.3 history

1993 - TP/93/0774	
proposal	- erection of first floor extension at side of existing house to provide additional living accommodation together with extension of existing roof over and formation of rooms in roof space involving the installation of a side dormer window
decision	- granted with conditions
1999 - TP/99/0154	
proposal	- single storey rear extension, and pitched roof over existing detached garage to provide additional accommodation
decision	- granted with conditions
2001 - TPO/01/0005	
proposal	- works to horse chestnuts (T24 & T25) covered by TPO 152 (1983) - reduce, shape and tidy by one third
decision	- granted
2011 - TPO/11/0033	
proposal	- works to trees covered by tree preservation order LBE 152 (1983) - 2x Horse Chestnuts and 3x Limes Re-pollard to previous points
decision	- granted with conditions
2011 - TP/11/0910	
proposal	- two storey extension to south and west elevations single storey extension to west elevation together with alterations to roof, creation of a gable with windows and doors and roof terrace to south elevation and dormer window to west elevation
decision	- granted with conditions
2018 - 18/02703/FUL	
proposal	- Sub-division of site and erection of a 3-bedroom dwelling house basement level and new access
decision	- planning refusal



2018 - 18/02703/FUL - existing and proposed dwelling

2.0 Design Approach



Design Approach

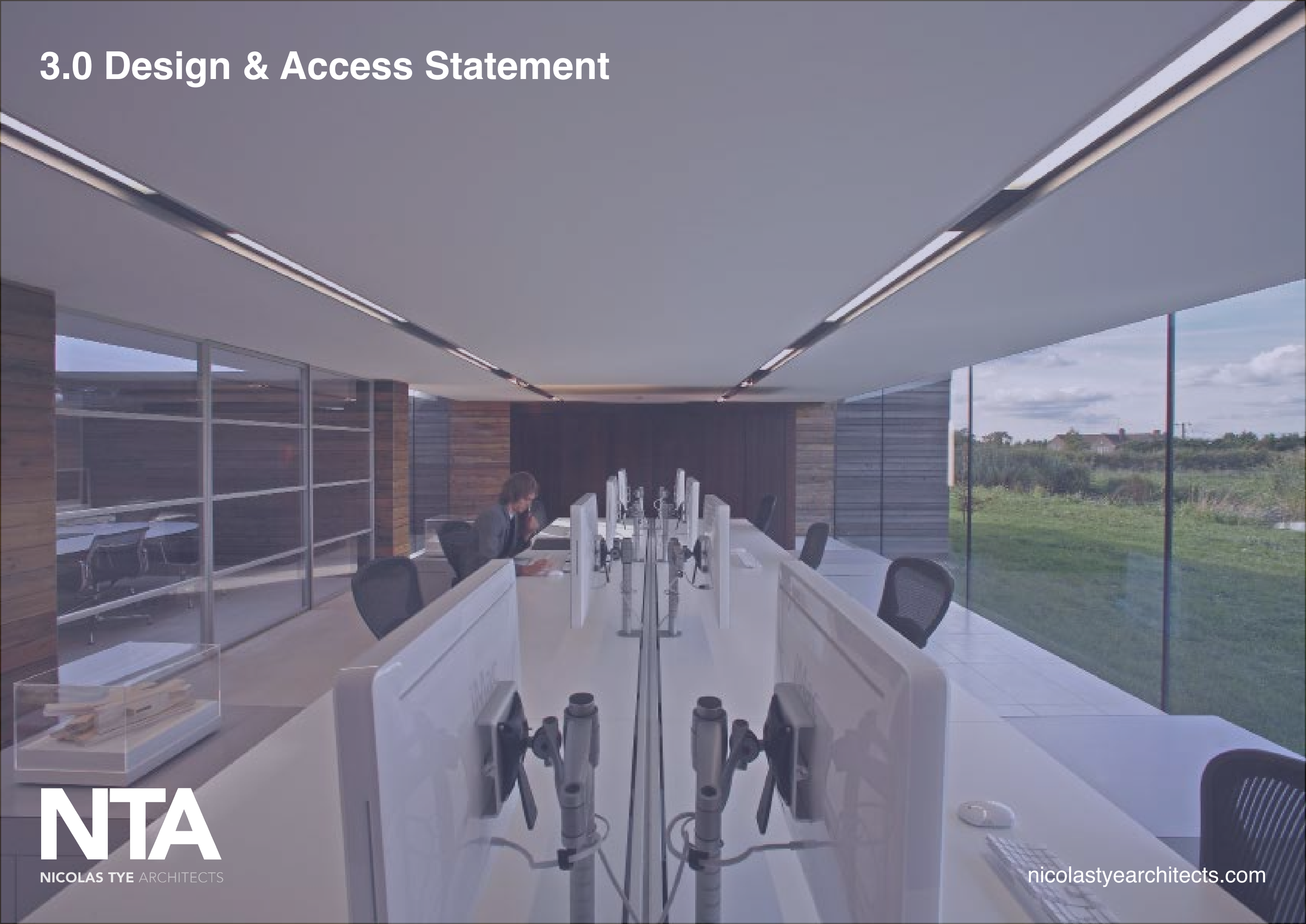
2.1 precedent study - nicolas tye architects



Brixham House, Devon



3.0 Design & Access Statement



Design & Access Statement

Introduction

This statement has been prepared by Nicolas Tye Architects in support of a pre-app application for a single new dwelling located on Quakers Walk, Winchmore Hill, London. This statement sets out the assets and landscape character of the site and our design process in addressing and responding to the site and its context.

Introduction To Nicolas Tye Architects

We are architects and designers interested in creating innovative, high quality and healthy environments for all people. Our skills in design, project organisation, client confidence in our work and deliverability is what we attain for our clients. The world around us is changing immeasurably and key to us is architecture which follows no trends or fashions but follows the real agenda of providing invigorating environments for all to use. Central to our philosophy is that design is generated by the needs of people, regardless of size or scale of the design opportunity. We actively encourage our clients to consider sustainability, environment issues and using natural, healthy materials where possible.

Our experience is far reaching and our philosophy has been successfully applied to projects large and small. We are not just considered for our design flair but also for our problem solving, feasibility studies, project reviews, management skills in protecting clients interests/investments, maximising space and use all with high quality residential works, retail outlets, hospitals, restaurants and bars, the arts and educational projects.

We work closely with a group of the country’s leading consultants to ensure projects are protected by the best organisations and people available. This team of consultants includes structural engineers, project managers, planning consultant, planning supervisors, service engineers, landscape architects, acoustic and traffic consultants as well as other specialist teams.

Site Description

The application site is located on Quakers Walk, Winchmore Hill, London.

The site has an existing property known as Broyle Gate which is a 6 bedroom detached 1920’s property. The property is located towards the Southern boundary of the site, away from Quakers Walk, with protected gated access. Also provided is a detached garage unit & parking provision for 4/5 cars.

The garden area is laid to lawn towards the front of the site, with a Mediterranean style garden at the rear, and an outdoor swimming pool between. The front (East) boundary is protected with existing trees, most of which have TPO’s. Other boundaries are protected by hedgerow and fencing.

Situated to the north of the site is a grade II listed water tower conversion.

Site Context

The site is well serviced, conveniently located within one mile from Grange Park Mainline Station and 1.7 miles to Winchmore Hill Village Green where various shops, boutiques and restaurants can be found. The site is located away from the main road, providing a peaceful environment for family living.

In regards to the immediate context the site is accessed via Quakers Walk which is a no through road. The properties along this road do not have a distinct relationship with the street and are set back in their plots with rows of garage blocks along the Eastern side forming the rear of the properties along The Orchard. As shown in the site photographs, this contributes negatively towards the character of the area. Most properties are well hidden by the existing natural screening and fencing, as shown in the images. The site is therefore out of view from Quakers Walk, as well as the existing properties which are all hidden.

There is a varied mix of architectural styles in the vicinity. For example adjacent to Quakers Walk are a row of 1930’s style London terrace properties with ‘Four Winds’ a prominent Art Deco property to the south. The most iconic building in the area is the neighbouring Grade II listed brick water tower.

More recently, new house developments has been built closely to the proposed site. The new houses present no particular character or architectural style.



Quakers Walk - View of recently constructed houses and existing boundary treatments.



Quakers Walk - View of Garages Toward Adjacent Properties



Quakers Walk - View of Existing Screening Towards Site

Design & Access Statement

Proposal

Broyle Gate, an existing detached property, is located on a substantial plot which has a large garden area. We are proposing a single new 3 bedroom dwelling to be situated North of the existing property. Our clients are looking to downsize but having fallen in love with the area over the last 20 years. They are reluctant to move away. Our proposal provides the opportunity to remain in the area and create a home which meets their specific needs.

Design & Scale

Our aim is to provide a new family residence on the site, which positively contributes to the existing character of the local area.

We have maintained the building line of the existing property Broyle Gate. The new dwelling is subservient to the existing dwelling and to their right side neighbor, the Water Tower. This established building line is demonstrated on drawing site plan 1836_003.

The ratio between built form vs garden is also consistent. The proposal has a ratio of approximately 1:4 (23%) which correlates with the neighbouring properties, therefore respectful of the existing character of Quakers Walk.

The proposal is for a 3 bedroom property, which has 2 storeys above ground, a single storey garage 0.5 level below and a basement. The footprint of the proposal dwelling is approximately 146 sqm, providing an internal floor area of approximately 267.87 sqm (including garage).

We have adopted a 2.0 storey flat roof configuration to minimise the house's impact on neighbouring amenity as well as to ensure the building is subservient in its setting and does not impact negatively on the adjacent heritage asset. The 0.5 below level of the garage configuration minimizes the impact of the attached garage on the front of the main dwelling and also the step down in level makes it possible for the main living area to receive direct morning sun through clerestory windows. A single storey flat roofed element at the rear provides spacious kitchen/dinning accommodation whilst keeping bulk and mass to a minimum.

The principal living spaces are situated the ground floor arranged in two separate generous sized living areas, with a westerly aspect towards the rear garden. In addition a utility, WC and a double garage are provided on this level. The second floor accommodates 3 bedrooms, 2 en-suites and a master bedroom en-suite. The master bedroom also has a separate dressing area. The basement floor will be used exclusively as a storage area.

We have carefully considered the size, orientation and views to minimise any impact on neighbouring properties. The building orientation provides principal aspects towards the front & rear gardens and minimise views towards adjacent properties. Furthermore all the side windows have obscured glazing, to maximise natural light into the dwelling but at the same time providing privacy. Therefore no overlooking can occur.

Our design approach was to adopt simple architectural forms combined with considered detailing and high quality finishes to create a distinctly contemporary building that sits comfortably in its setting.

Materiality

Our proposed building uses a palette of 3 simple materials. Therefore we have adopted a more discrete approach by specifying natural materials which are complementary and respectful of the historic context with contemporary detailing that provides a clear distinction between old & new.

With an emphasis on natural, self-finished materials, we proposed a vertical Western Red Cedar Batten Cladding for the first floor walls and a natural Costwold Dry stone to the garage walls complimented by a modern fine grained white render planes to the ground floor level. The vertical timber cladding, white render and masonry base, echoes the materiality of the existing render and timber frame facade of Broyle Gate house, while reinterpreting them in a contemporary manner, through clean, crisp modern detailing.

We propose high performance glazing systems with large apertures to the front swimming pool patio and at the rear garden in order to provide open views as well as maximise natural light into the dwelling.

The strategic placing of large glazed apertures will maximise solar gain, improving the building thermal performance.

Skylights on the roof will provide extra light into the dwelling while a low profile upstand hides them from view.

The modern material palette as detailed above assists in delivering a building of very high quality, meeting the demands of sustainable development, whilst also providing a building which respects the local character.



Costwold Dry Stone Wall



Western Red Cedar timber cladding and fine grained white render

Design & Access Statement

Access

The current property has front gated access, which will be retained for Broyle Gate. The proposal includes a new front access positioned towards the Northern boundary of the site. It is positioned to have minimal affect on the existing tree line. The proposed access to site will have a maximum width of 4.5m. The gate is positioned in line with the front boundary fencing. It was suggested in the previously application report that the front gate should be located 6m back from the highway but none of the properties along Quakers Walk have this provision as due to the fact it is a no through road there is too little traffic to warrant this. Positioning the gate on the boundary also minimises any potential disruption within RPA's.

The scheme provides an integral garage with space for two cars on the ground floor level.

The driveway will be surfaced in loose aggregate with hard surfacing in yellow granite setts within 5m of the highway.

Landscape

Our strategy is to have minimal impact in relation to the existing landscape. The existing pool would be demolished however the excavated volume would be utilised for the proposed sunken garage. The rear garden provides access to the rear of the property and largely constitutes the existing Mediterranean style garden much of which will be unaffected by the proposal.

The scheme proposes boundary planting to provide additional privacy between the neighbouring properties. The Southern boundary will have close board fencing with native species hedging. The Northern boundary is to be treated with a row of pleached hornbeam screening to replace the limes that are proposed for removal. This boundary treatment in combination with the flat roof form of the building, will avoid any affect on the neighbouring properties.

Drainage

The site is within flood zone 1 and therefore a flood risk assessment is not required. The proposed driveway is permeable (gravel) so as to aid drainage and reduce impact on RPA's. Appropriate drainage will be provided within the site and the property basement will be protected by the installation of a positive pumped device to avoid the risk of backflow at a later date.

Sustainability

Providing a dwelling the meets the highest standards in sustainable design has been a key design driver from the outset. As an absolute minimum the proposal intends to meet the requirement of a 35% CO2 improvement over Part L and show a consumption equal to or less than 105 litres of water per person per day as stipulated in the pre-application advice.

Pre Application Advice

Following the refusal of the previously application no: 18/02703/FUL. We have set the new proposed house further back from the street to match the building line of No 17, the existing Broyle Gate house. The maximum height of the new dwelling matches the eaves height of Broyle Gate, while also making the building subservient to the Water Tower at No: 15, a listed local landmark. The final proposed desing was developed through further discussion with Enfield Council under the pre-application 19/01961/PRE-APP. The combination of the proposed design and its new siting of the proposed dwelling, added to the protected screening at the front of the plot result in no impact on the street scene from the new property.

4.0 Existing & Proposed Drawings



General Notes:

1. PLEASE DO NOT SCALE FROM DRAWINGS.

2. Figured dimensions are in millimeters, levels in metres and are to be checked on site prior to all contractors commencing their works.

3. Areas are in metres. Any areas indicated are approximate and indicative only.

4. Any discrepancies to be reported to the Architect in writing prior to any works being carried out.

5. Drawing only to be used for the purpose specified.

Revision

- Planning Issue

Date

27/11/19

By

JUM

Chkd

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w: www.nicolastyearchitects.co.uk

Project: Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title: Location plan

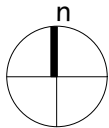
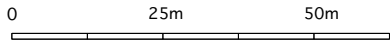
Purpose: PLANNING

Dwg No: 1836_000

Scale: 1:1250@A3

Revision: -

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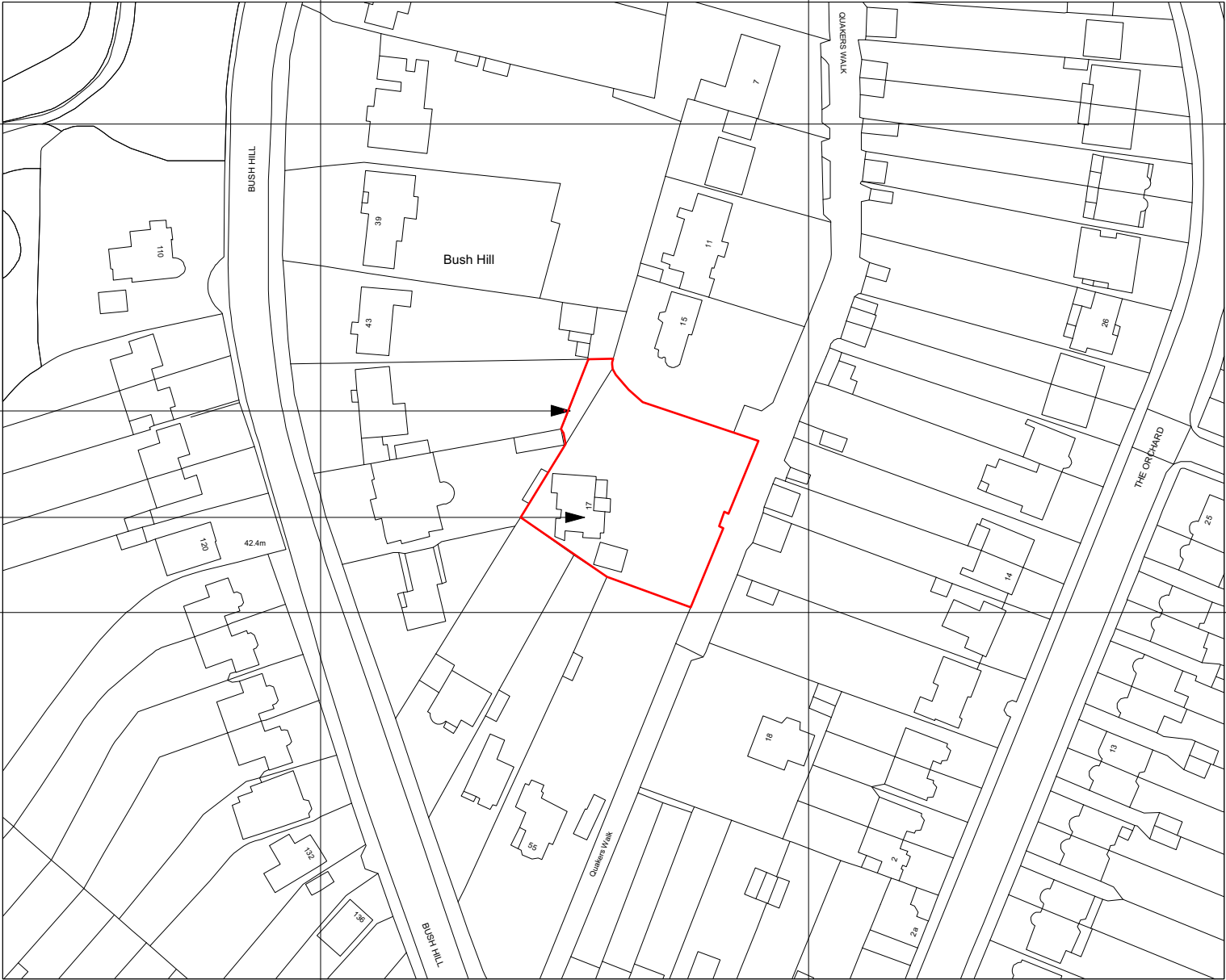


site boundary

existing dwelling - Broyle Gate

KEY

application site



General Notes:

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Project: Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title: Existing site plan

Purpose: PLANNING

Dwg No: 1836_001

Scale: 1:1250@A3

Revision: -

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02m4m6m8m10m

n

existing summer house

existing dwelling - Broyle Gate

existing pool

existing detached garage - Broyle Gate

land ownership

KEY

application site

site boundary

QUAKERS WALK

existing site plan
scale 1:200@A3

General Notes:

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Project:

Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title:

Existing plans Broyle Gate

Dwg No:

1836_002

Purpose:

PLANNING

Scale:

1:100@A3

Revision:

-

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existing ground floor plan
scale 1:100@A3

existing first floor plan
scale 1:100@A3

General Notes:

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Project:

Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title:

Existing plan Broyle Gate

Dwg No:

1836_003

Purpose:

PLANNING

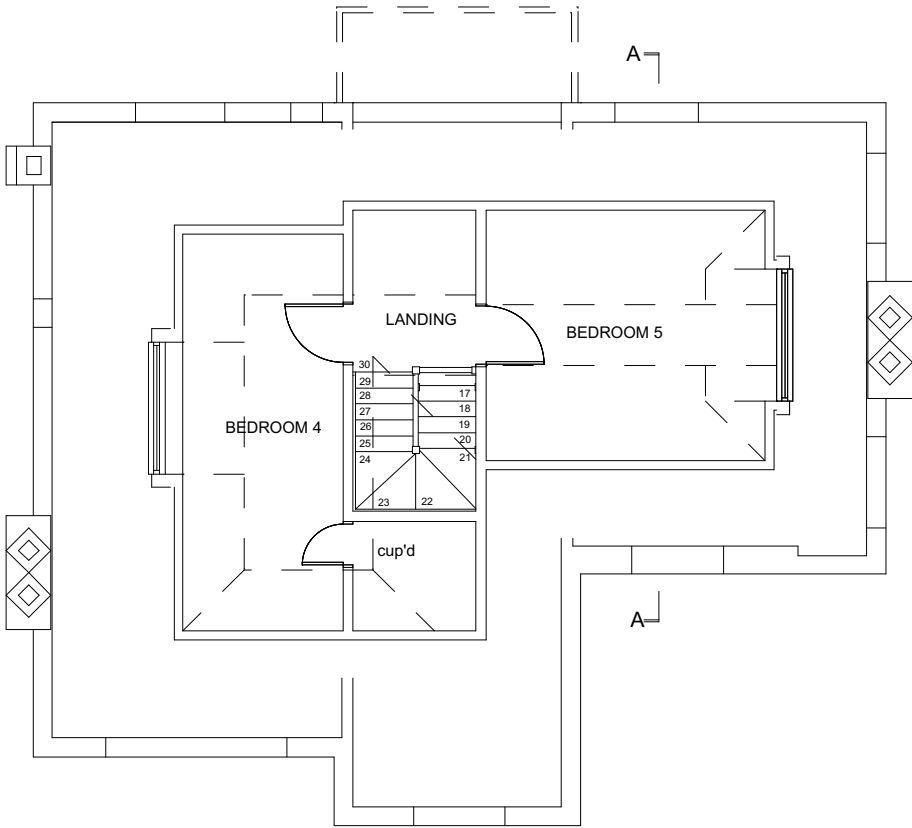
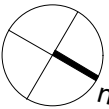
Scale:

1:100@A3

Revision:

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existing loft floor plan
scale 1:100@A3

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existing front (East) elevation
scale 1:200@A3



existing side (North) elevation
scale 1:200@A3

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existing rear (West) elevation
scale 1:200@A3



existing side (South) elevation
scale 1:200@A3

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Revision

- Planning Issue

Date

27/11/19

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Project:

Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title:

Existing street scene

Dwg No:

1836_006

Purpose:

PLANNING

Scale:

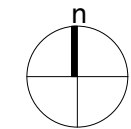
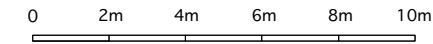
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Revision:

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existing street scene elevation
scale 1:200@A3



proposed one new dwelling unit

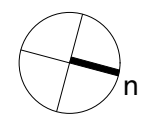
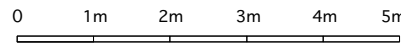
proposed dwelling on previous application no: 18/02703/FUL

existing dwelling - Broyle Gate to be retained

- KEY
- application site
- site boundary
- building line

existing site plan
scale 1:500@A3





MAIN AREAS

Main House GEFA: 283.77 sqm
Garage GEFA: 38.82 sqm

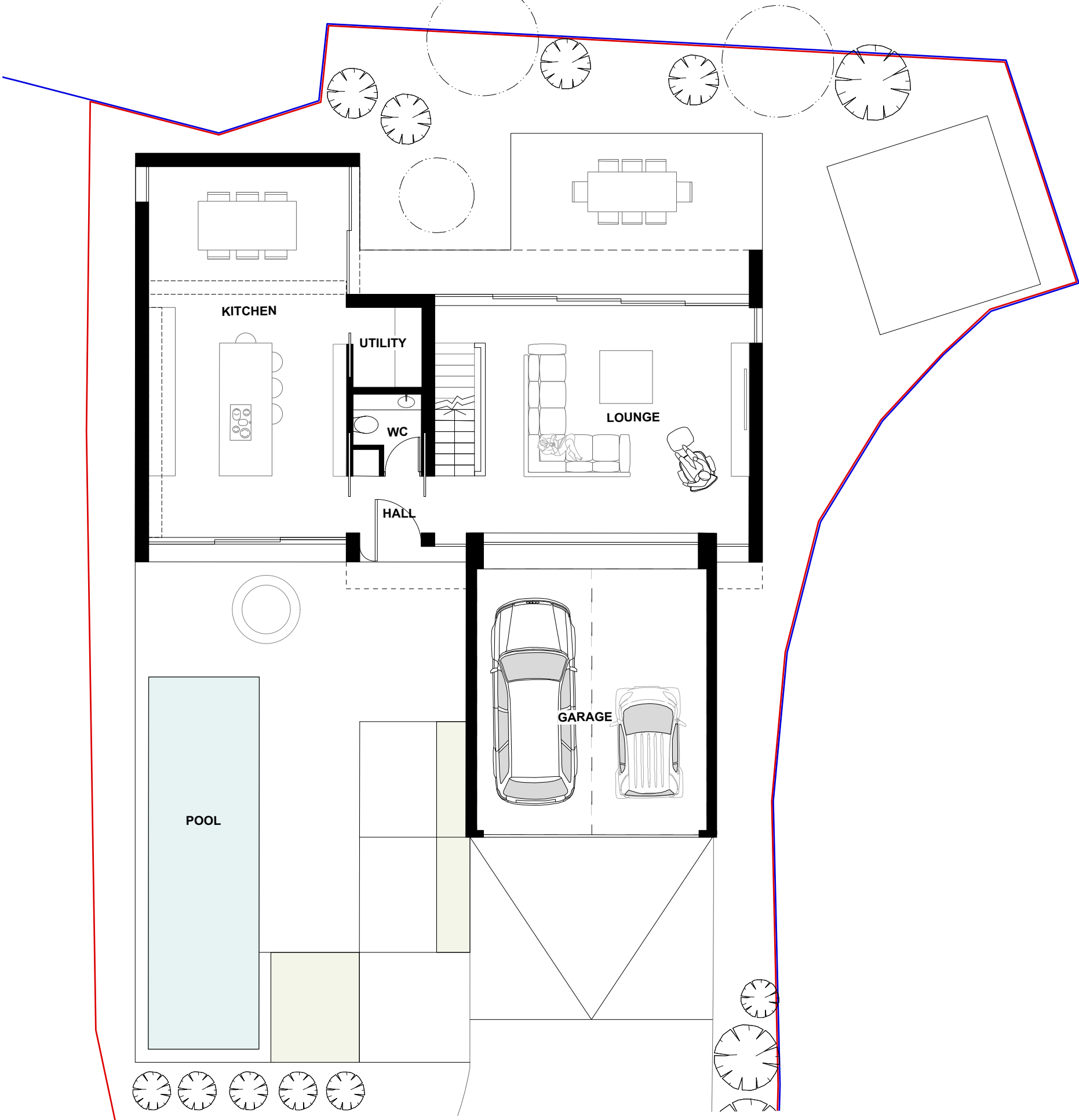
Total GEFA: 322.59 sqm

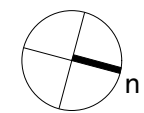
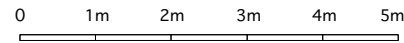
External footprint: 145.88 sqm

Main House GIFA: 234.50 sqm
Garage GIFA: 33.37 sqm

Total GIFA: 267.87 sqm

proposed ground floor plan
scale 1:100@A3





MAIN AREAS

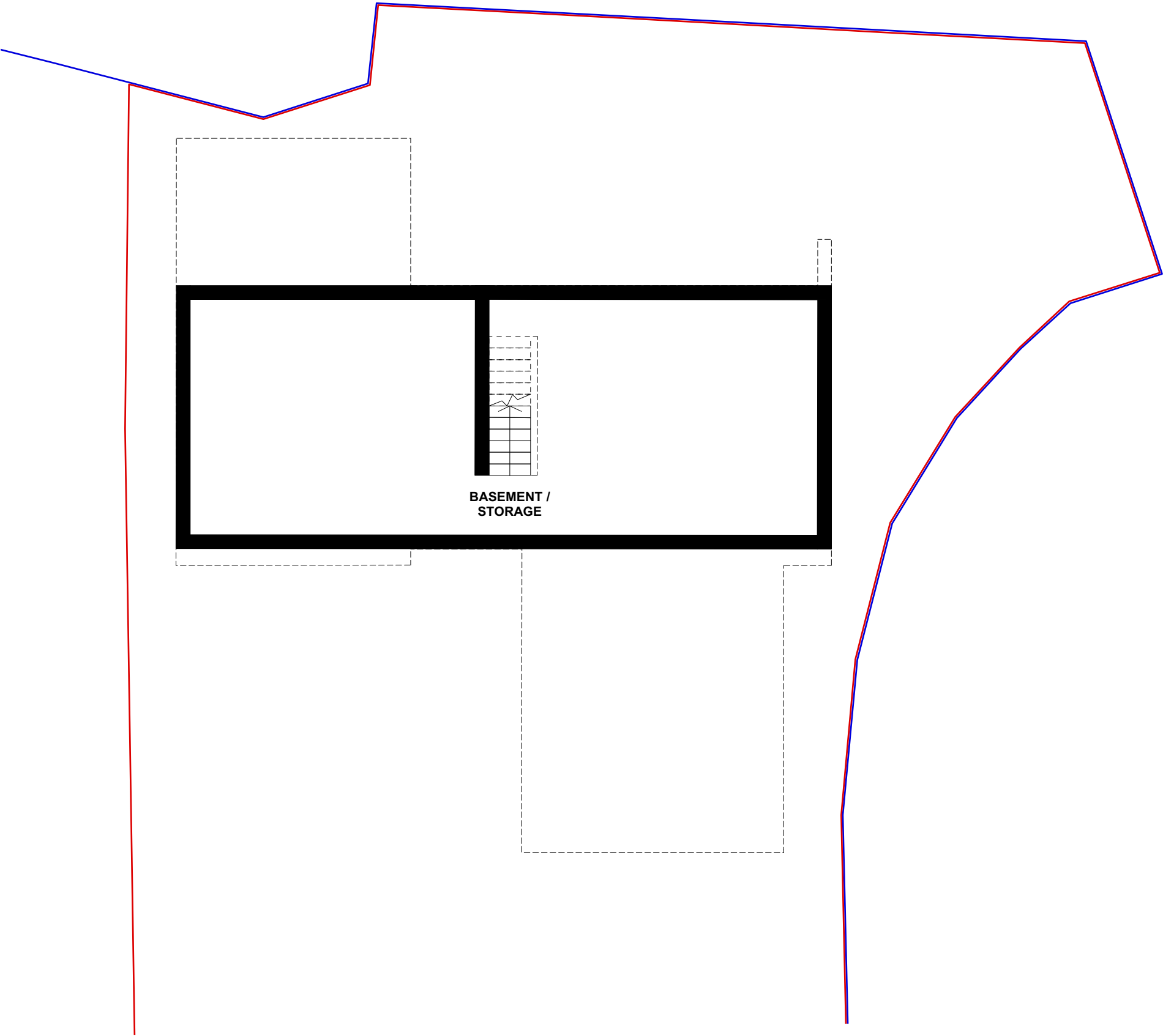
Main House GEFA: 283.77 sqm
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Total GEFA: 322.59 sqm

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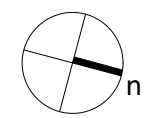
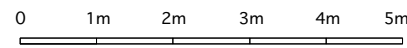
Main House GIFA: 234.50 sqm
Garage GIFA: 33.37 sqm

Total GIFA: 267.87 sqm



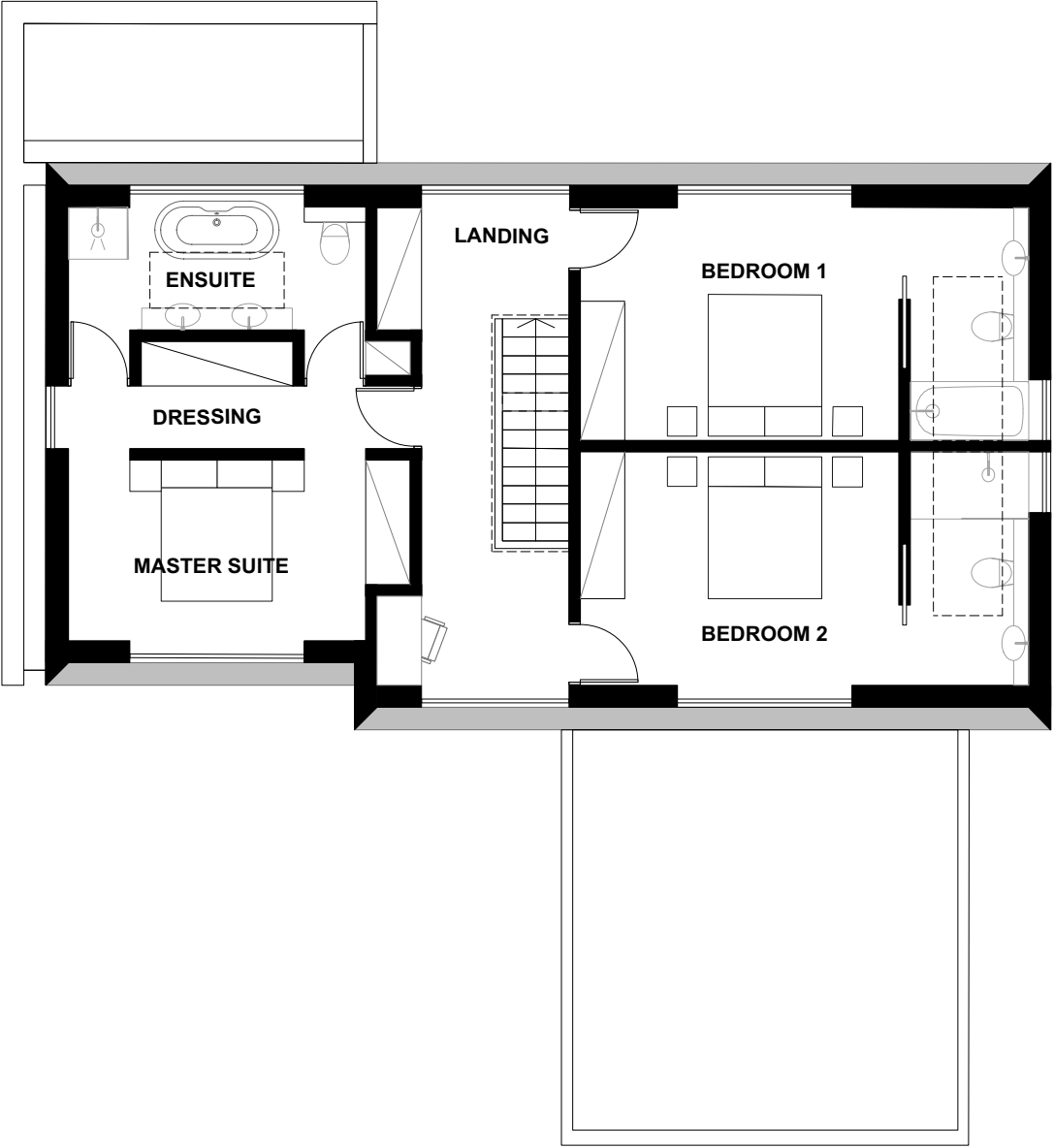
proposed first floor plan
scale 1:100@A3

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MAIN AREAS

Main House GEFA:	283.77 sqm
Garage GEFA:	38.82 sqm
Total GEFA:	322.59 sqm
External footprint:	145.88 sqm
Main House GIFA:	234.50 sqm
Garage GIFA:	33.37 sqm
Total GIFA:	267.87 sqm



proposed first floor plan
scale 1:100@A3

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Revision

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Date

27/11/19

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Project: Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title: **Proposed Elevations**

Purpose: **PLANNING**

Dwg No: **1836_400**

Scale: **1:100@A3**

Revision: **-**

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key

- ① Fine Grained Through-coloured White Synthetic Render
- ② Western Red Cedar Batten Cladding
- ③ Aluminium door
- ④ Cotswold Dry Stone Wall
- ⑤ Powder coated Aluminium cladding panel in color to match frames
- ⑥ Obscured Glazing

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Project:

Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title:

Proposed Elevations

Dwg No:

1836_401

Purpose:

PLANNING

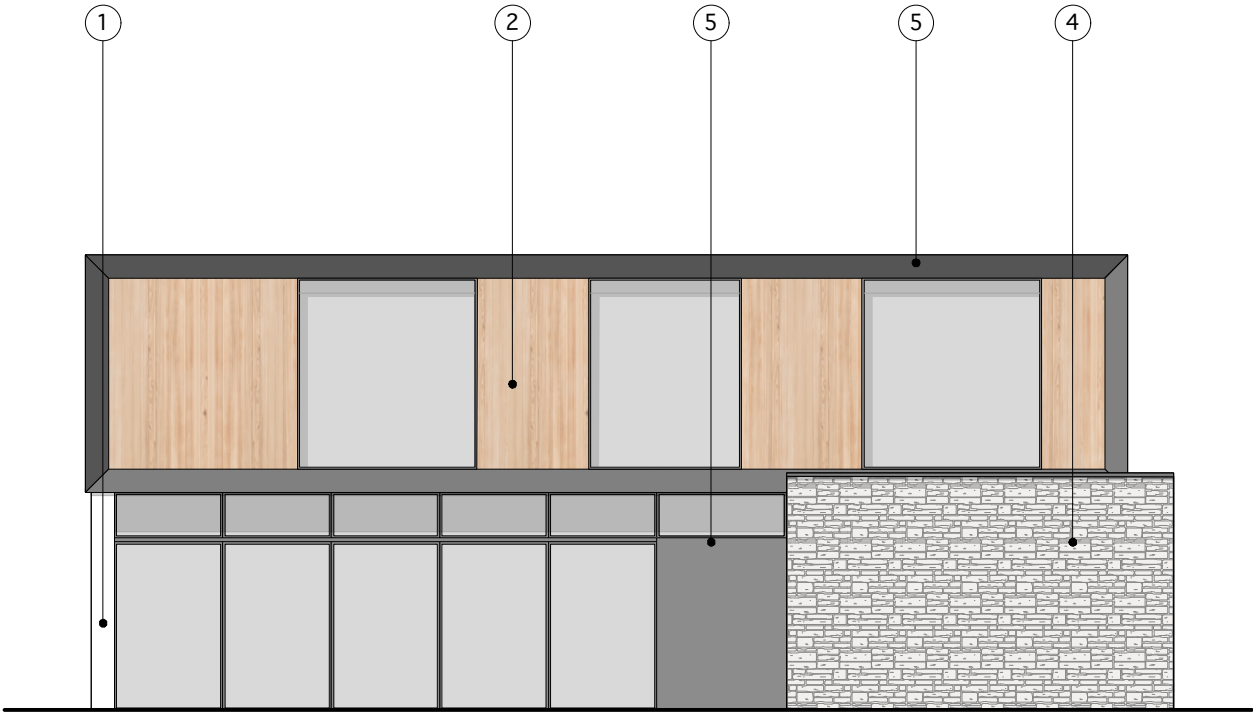
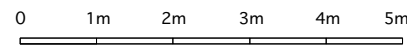
Scale:

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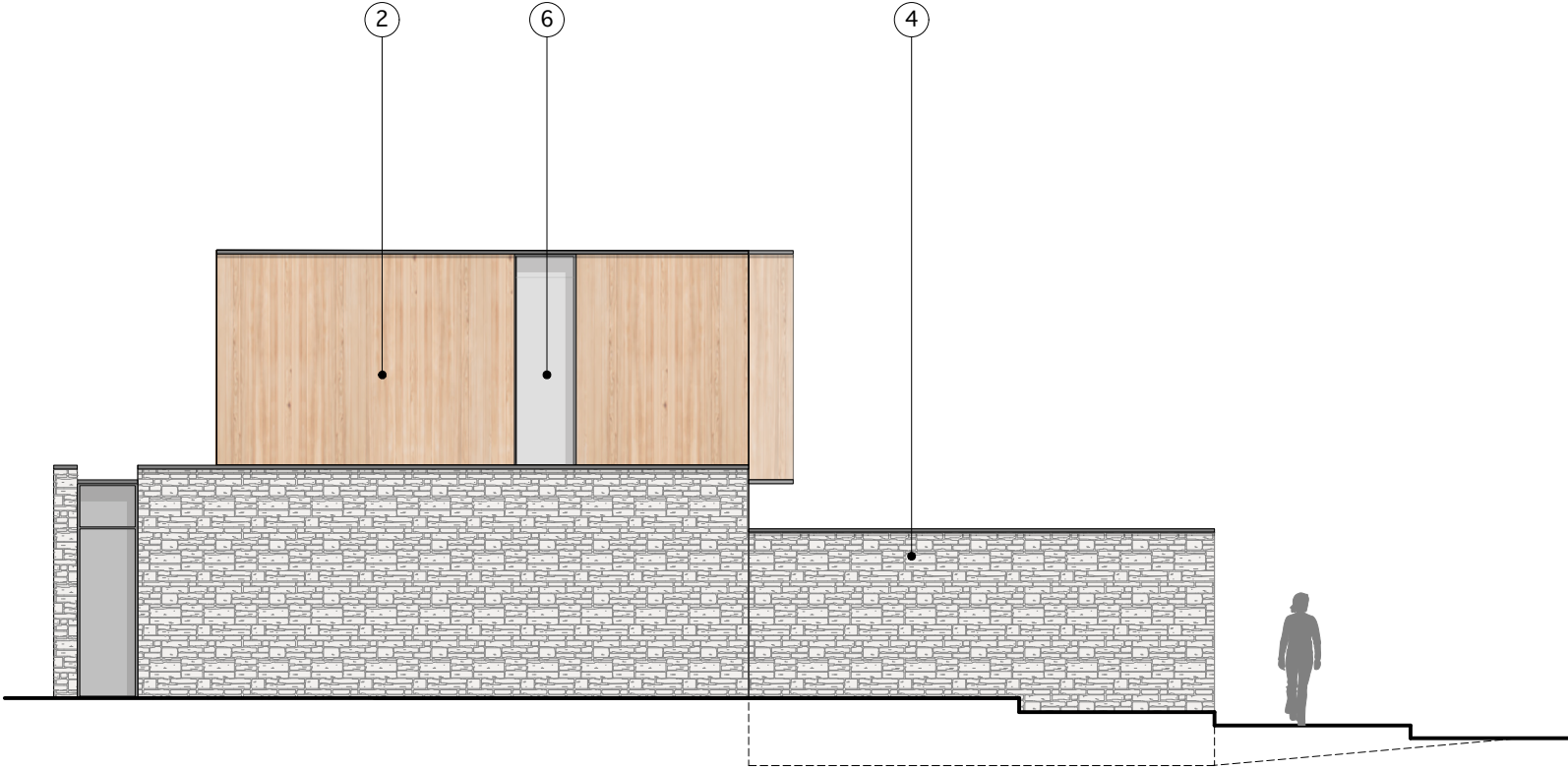
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proposed rear elevation
scale 1:100@A3



proposed left side elevation
scale 1:100@A3

- key
- 1

Fine Grained Through-coloured White Synthetic Render
- 2

Western Red Cedar Batten Cladding
- 3

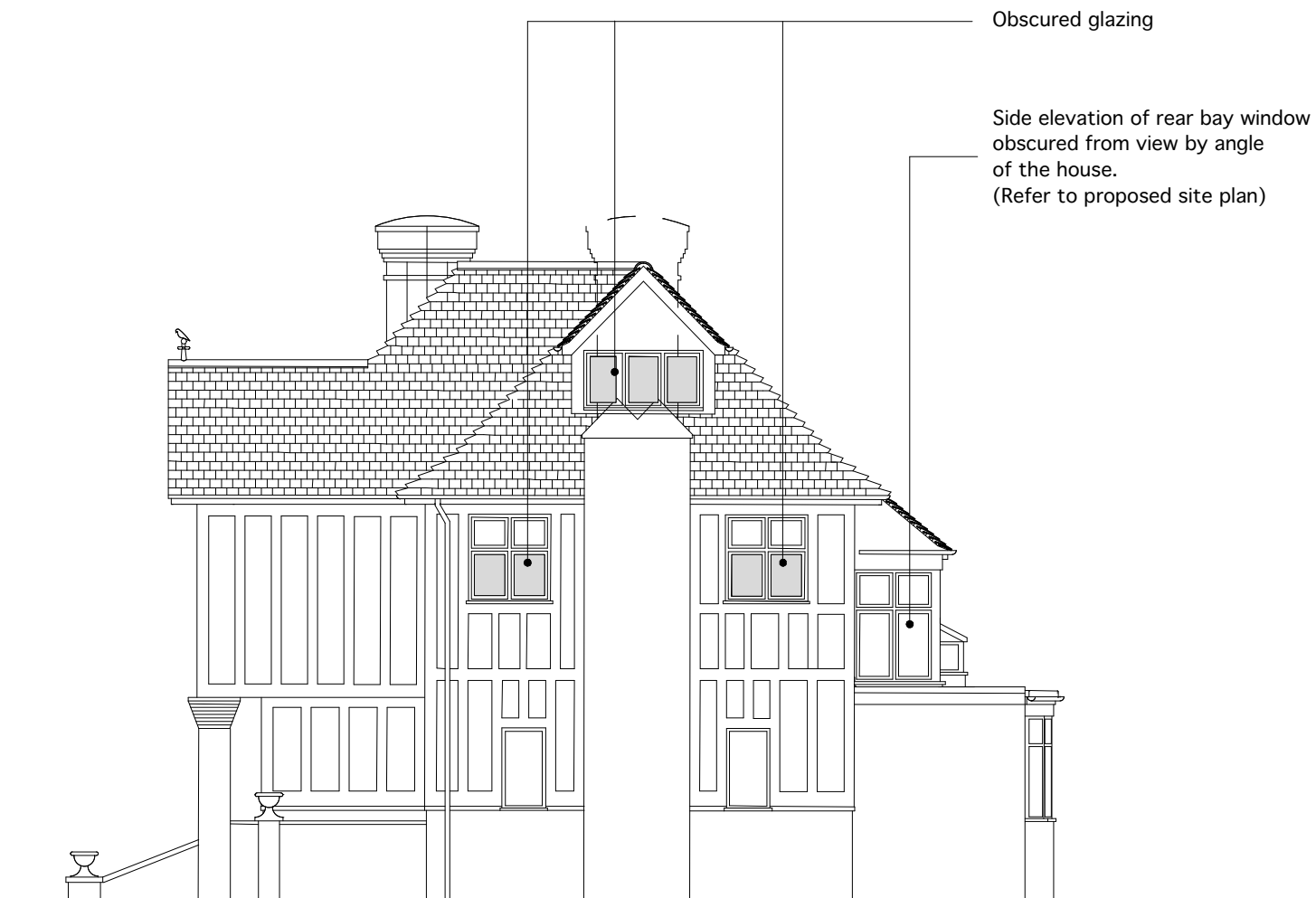
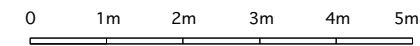
Aluminium door
- 4

Cotswold Dry Stone Wall
- 5

Powder coated Aluminium cladding panel in color to match frames
- 6

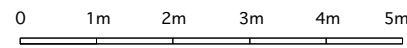
Obscured Glazing

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	- Planning Issue	27/11/19	JUM			



proposed north elevation - Broyle Gate
scale 1:200@A3

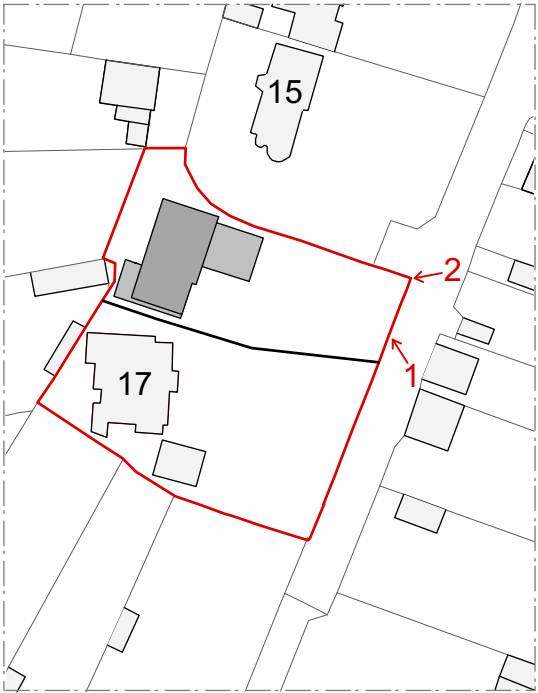
General Notes: 1. PLEASE DO NOT SCALE FROM DRAWINGS. 2. Figured dimensions are in millimeters, levels in metres and are to be checked on site prior to all contractors commencing their works. 3. Areas are in metres. Any areas indicated are approximate and indicative only. 4. Any discrepancies to be reported to the Architect in writing prior to any works being carried out. 5. Drawing only to be used for the purpose specified.	Revision	Date	By	Chkd	<div>NICOLAS TYE ARCHITECTS</div> <div>the long barn studio limbersey lane maulden bedfordshire mk45 2ea</div> <div>t: +44(0)1525 406677 e: info@nicolastyearchitects.co.uk w: www.nicolastyearchitects.co.uk</div>	Project: Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE Title: Proposed Elevations Purpose: PLANNING © Confidential copyright Nicolas Tye Architects under berne & universal copyright convention. Information contained within this drawing is the sole copyright of Nicolas Tye Architects and is not to be reproduced without their express permission. This document must not be copied without written permission and the contents must not be imparted to a third party nor be used for any unauthorised purpose.	Dwg No: 1836_403 Scale: 1:500@A3 Revision: -
	- Planning Issue	27/11/19	JUM				



proposed street scene elevation
scale 1:200@A3

The existing natural screening is retained to provide privacy from the street scene.

Location of proposed gated driveway entrance - vertical timber finish.



site plan
scale 1:1000@A3

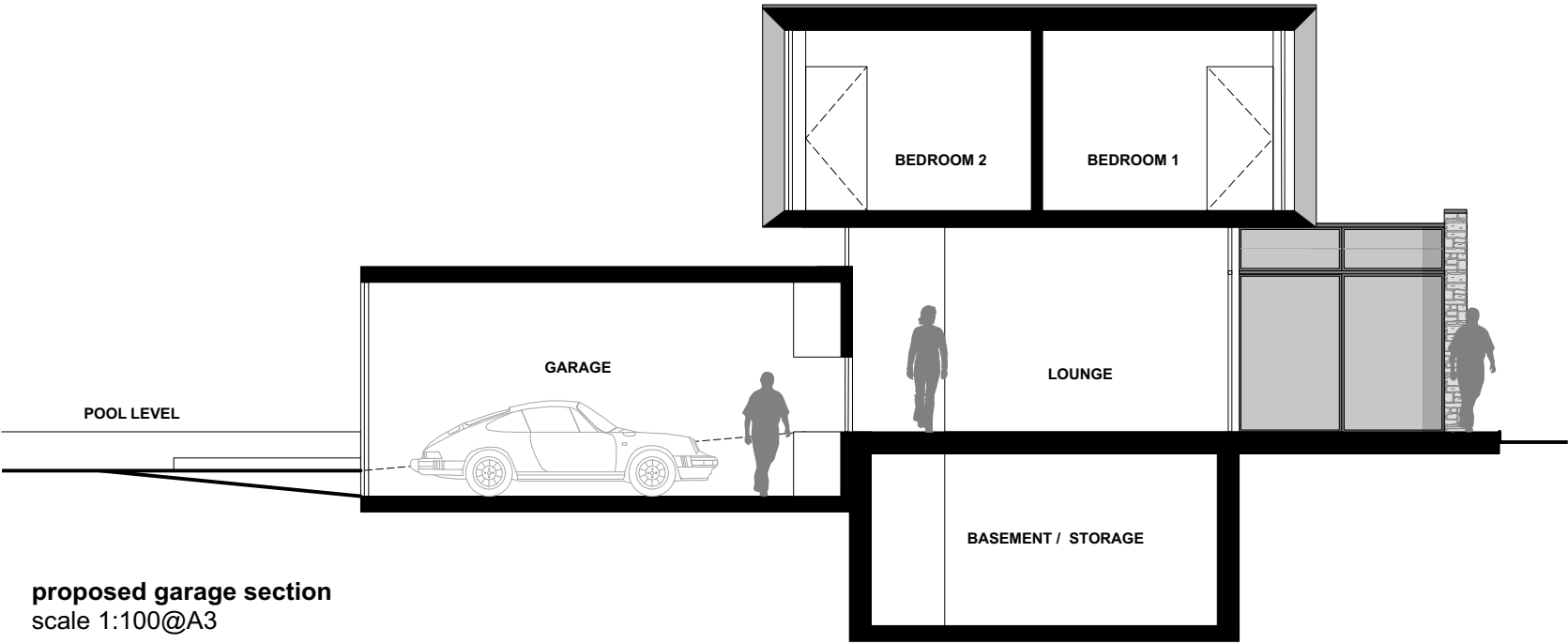
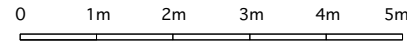


1. existing street scene - north west
nts



2. existing street scene - south west
nts

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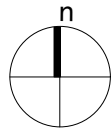
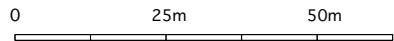
proposed garage section
scale 1:100@A3



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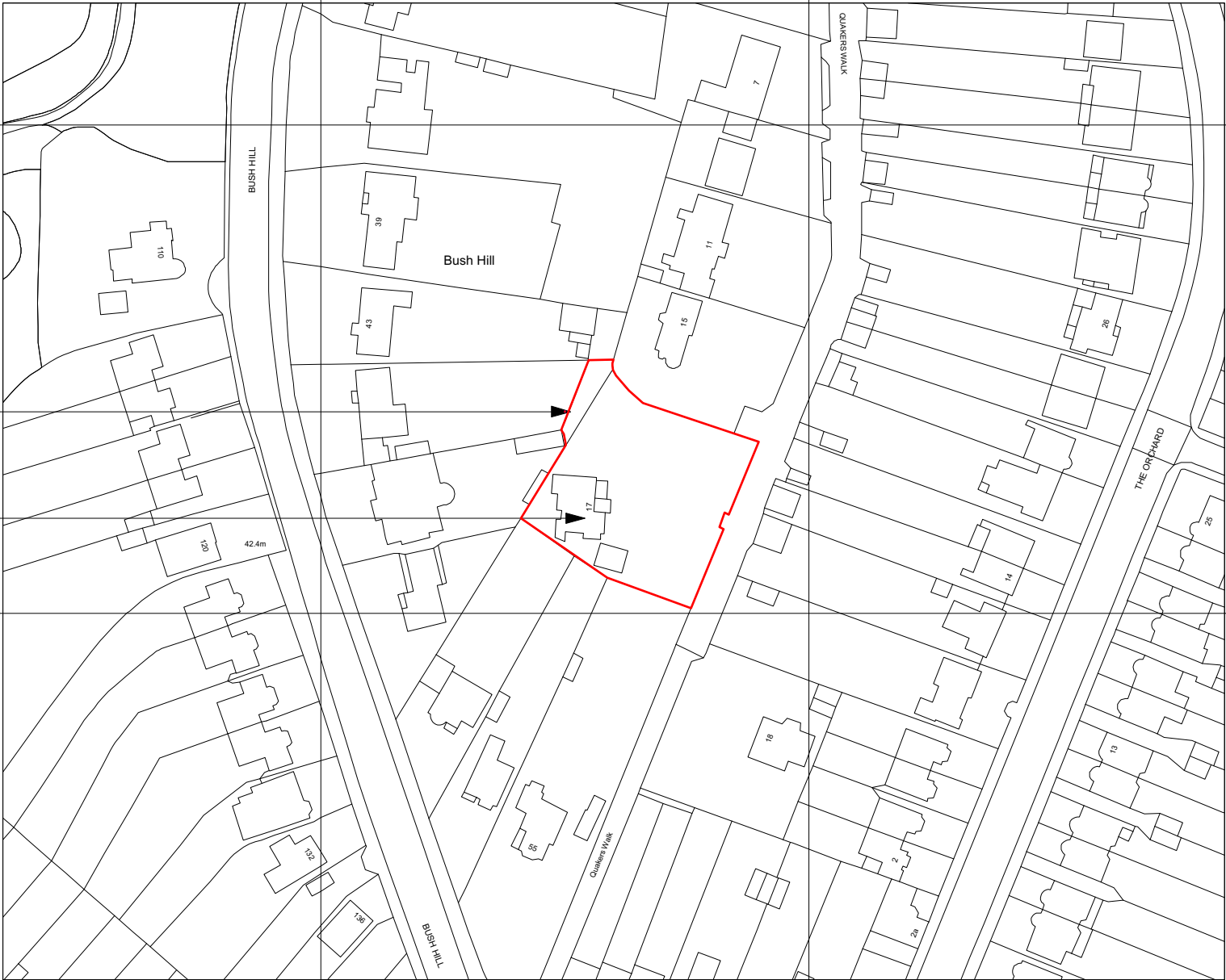
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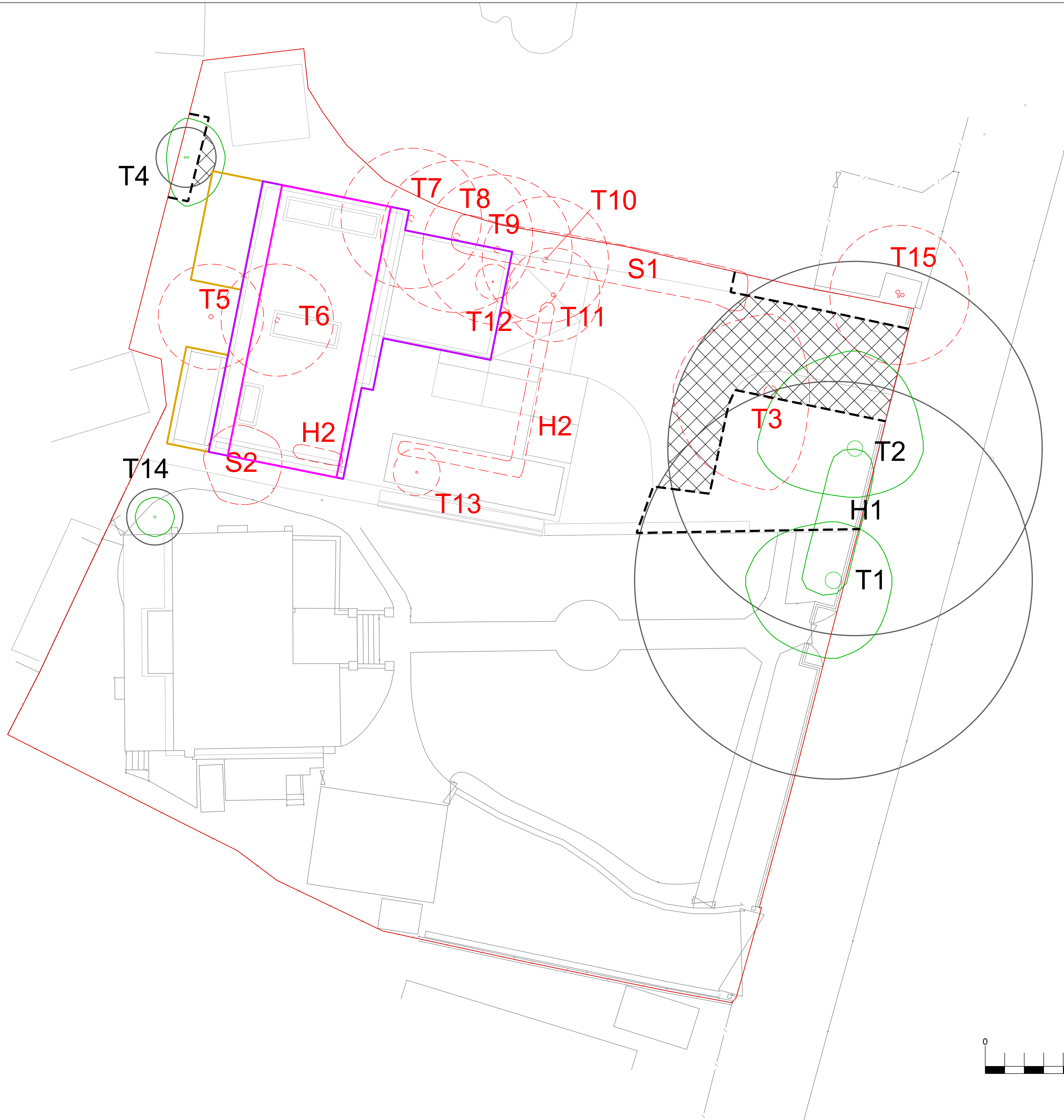
site boundary

existing dwelling - Broyle Gate



KEY

— application site



No dimensions are to be scaled from this drawing. All stated measurements are to be verified on site. Any discrepancies to be brought to the attention of Open Spaces.

	Site boundary
	Proposed building
	Proposed basement
	Proposed terrace
	Crown spread tree/group
	C Category tree Root Protection Area
	Tree to be removed
	Tree Protection barrier
	Ground Protection

Rev	Date	Description
A	19/11/2019	revised layout

Client

Project
Land at Broyle Gate, Quakers Walk
Winchmore Hill, London N21 2DE

Drawing Title
Tree Protection Plan

Date:	14/03/2018	Drawn: T1
Scale:	1:100- on A1	Checked: GD
Dwg No:	OS 1483-17.2	Rev: A

Open Spaces
Landscape Architects
LANDSCAPE ARCHITECTURE - TREES - ECOLOGY
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www.open-spaces.co.uk

General Notes:

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5. Drawing only to be used for the purpose specified.

Revision

- Planning Issue

A- Revised Site Plan

Date

27/11/19

24/02/20

By

JUM

JUM

Chkd

CC

CC

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Project: Broyle Gate, Quakers Walk, Winchmore Hill, London N21 2DE

Title: **Proposal Site Plan**

Purpose: PLANNING

Dwg No: **1836_200**

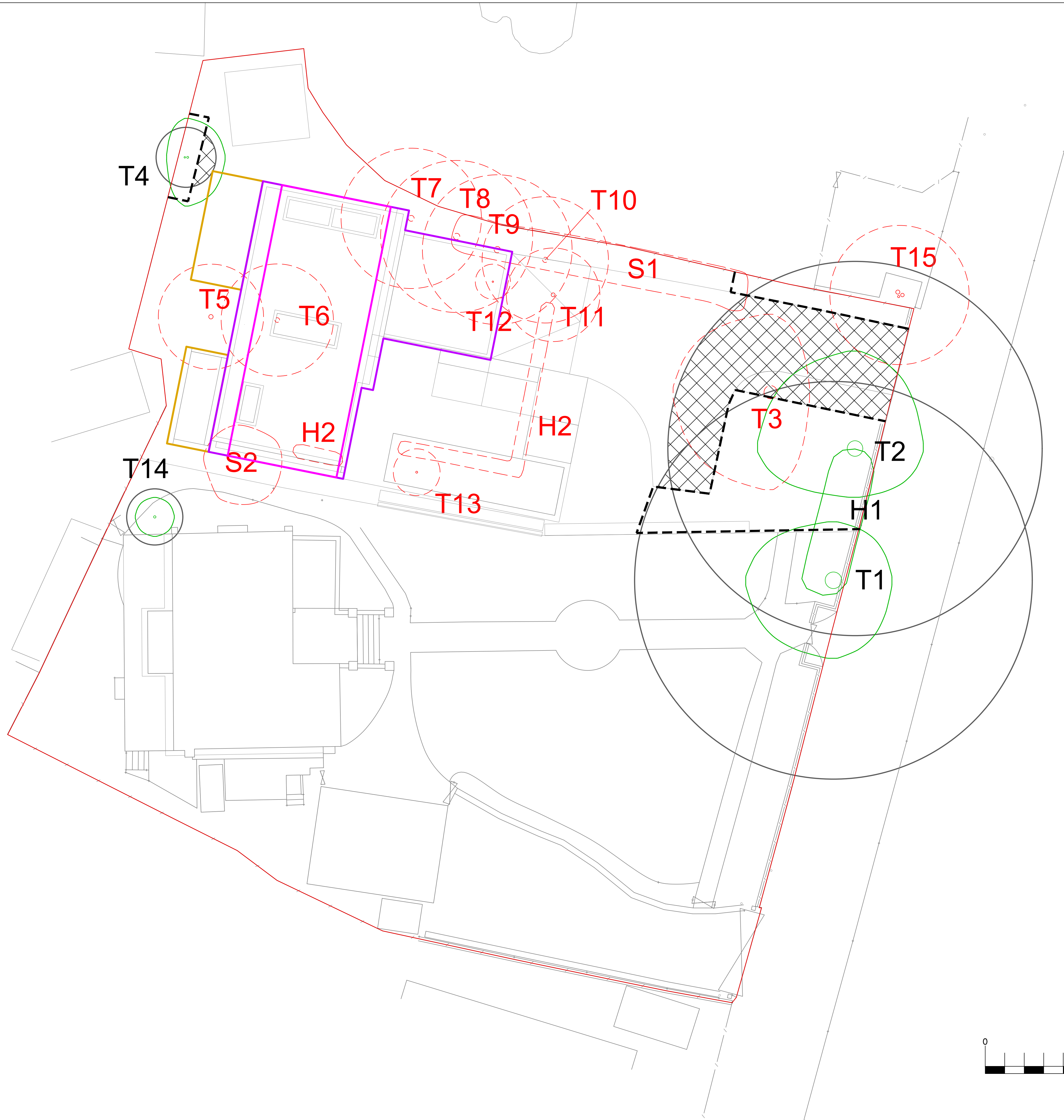
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Revision: **A**

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proposed site plan
scale 1:200@A3



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	Site boundary
	Proposed building
	Proposed basement
	Proposed terrace
	Crown spread tree/group
	C Category tree Root Protection Area
	Tree to be removed
	Tree Protection barrier
	Ground Protection

Rev	Date	Description
A	19/11/2019	revised layout

Client

Project
Land at Broyle Gate, Quakers Walk
Winchmore Hill, London N21 2DE

Drawing Title
Tree Protection Plan

Date:	14/03/2018	Drawn: T1
Scale:	1:100- on A1	Checked: GD
Dwg No:	OS 1483-17.2	Rev: A

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